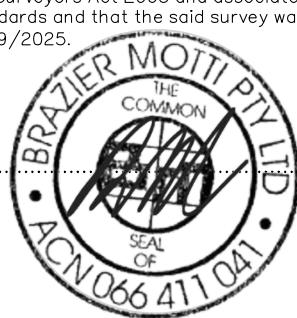


**DIAGRAM A**  
*Scale 1:2500*

Emt N 2003  
SP342808

BRAZIER MOTTI PTY LTD (ACN 066 411 041) hereby certify that the land comprised in this plan was surveyed by the corporation, by Basil SILINJU, Surveying Associate, for whose work the corporation accepts responsibility, under the supervision of Geoffrey Edwin OSBALDISTON, Cadastral Surveyor, and that the plan is accurate, that the said survey was performed in accordance with the Survey and Mapping Infrastructure Act 2003 and Surveyors Act 2003 and associated Regulations and Standards and that the said survey was completed on 16/09/2025.



- Director

Date ..... 23/09/2025

375m 50mm 750m 100mm 1125m 150mm State copyright reserved

*Total Area* ..... 1.3532ha

**Total Area** ..... **1.3532ha**

*Plan of Lots 57, 67-117,  
900 & 2003  
and Easement P in Lot 2003*

*Cancelling Lot 2003 on SP342808*

LOCAL *TOWNSVILLE CITY*  
GOVERNMENT: *COUNCIL*

LOCALITY: *RASMUSSEN*

Meridian: *MGA (Zone 55) vide SP342808*

Survey Records: No

Scale: 1:2500

Format: STANDARD



SP352402

Information may not be placed in the outer margins.

(Dealing No.)

4. Lodged by

(Include address, phone number, email, reference, and Lodger Code)

I. Existing		Created		
Title Reference	Description	New Lots	Road	Secondary Interests
51372002	Lot 2003 on SP342808	57, 67-117, 900 & 2003	New Rd	Emt P

#### MORTGAGE ALLOCATIONS

Mortgage	Lots Fully Encumbered	Lots Partially Encumbered
719569241	57, 67-117, 900 & 2003	

#### ENCUMBRANCE EASEMENT ALLOCATIONS

Easement	Lots to be Encumbered
723753718 (Emt L on SP342808)	900
723753718 (Emt M on SP342808)	2003
723753719 (Emt N on SP342808)	57, 67-117 & 2003
601382792 (Emt D on RP854052)	2003
601383636 (Emts G & H on RP854053)	2003
601443632 (Emt J on RP853740)	2003
601086955 (Emt A on RP853741)	2003
716306736 (Emt K on SP275832)	2003

Easement Emt N on SP342808 (723753719) partially absorbed by new road.

2003 117 114-116 105 & 106 57, 67-104, 107-113 & 900	Pors 149, 31V, 113, 29V & 389 Por 113 Pors 113 & 149 Pors 149 & 29V Por 149
Lots	Orig
2. Orig Grant Allocation :	
3. References :	

Dept File :  
Local Govt :  
Surveyor : 40173/017-02 - 40173\_092A.dwg - WCHO - 01/2025 - V0

#### 6. Building Format Plans only.

I certify that :  
 \* As far as it is practical to determine, no part of the building shown on this plan encroaches onto adjoining lots or road;  
 \* Part of the building shown on this plan encroaches onto adjoining \* lots and road

Cadastral Surveyor/Director \* Date  
\*delete words not required

#### 7. Lodgement Fees :

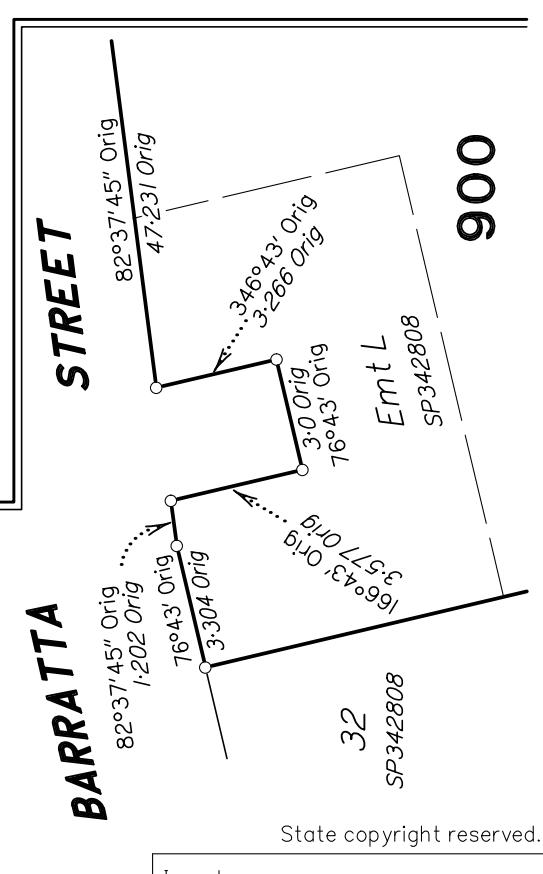
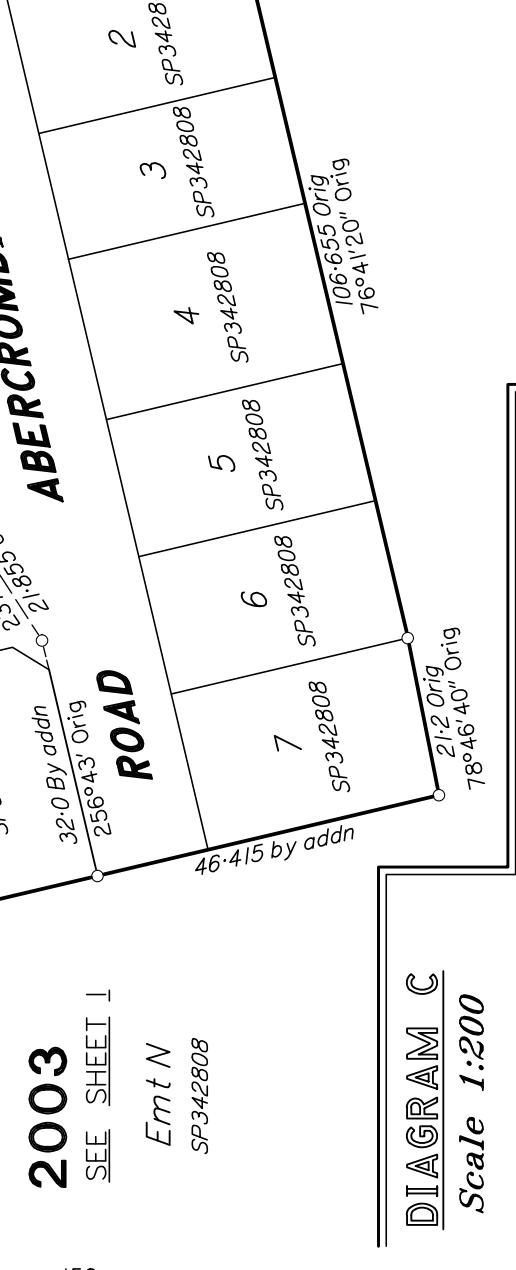
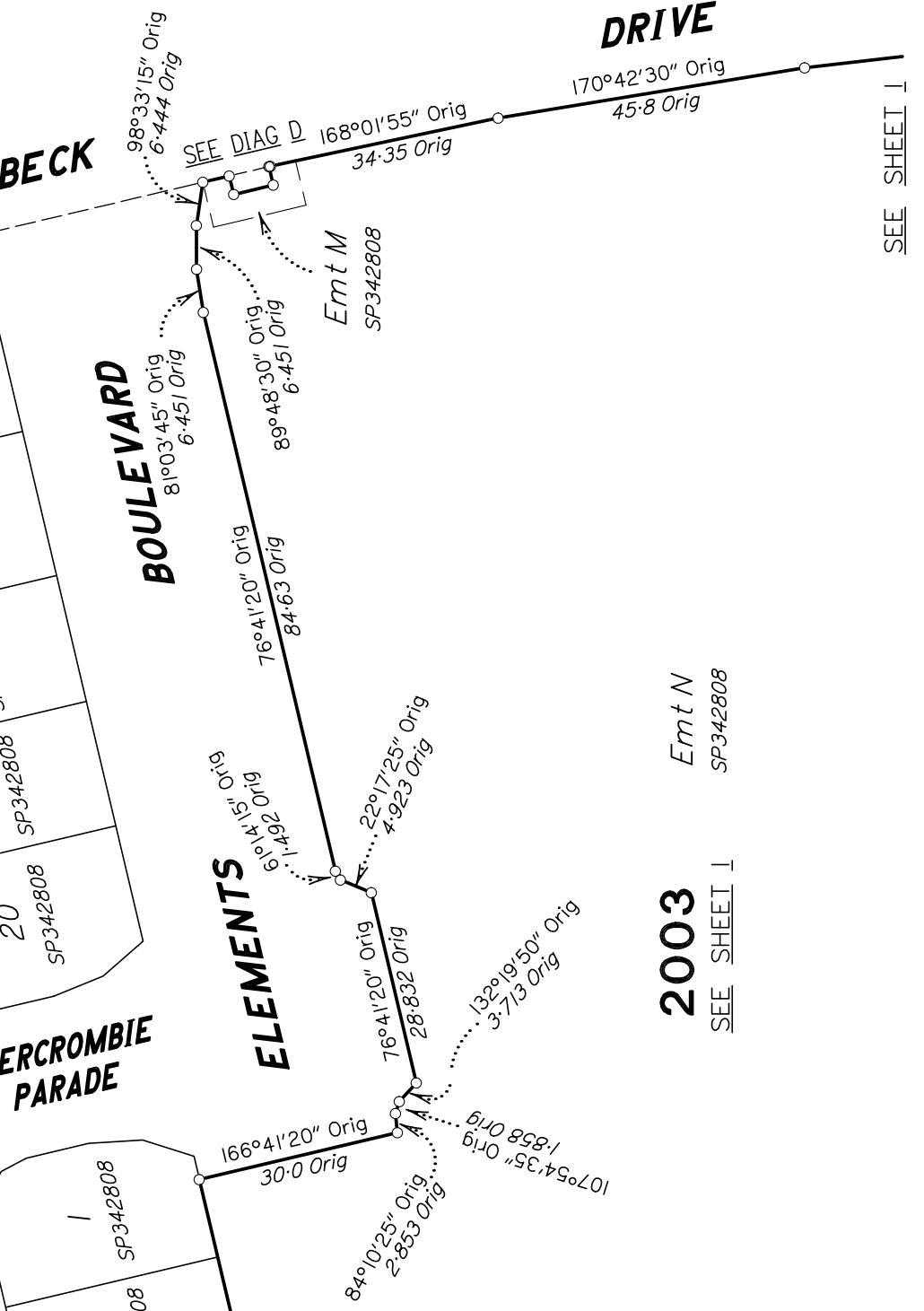
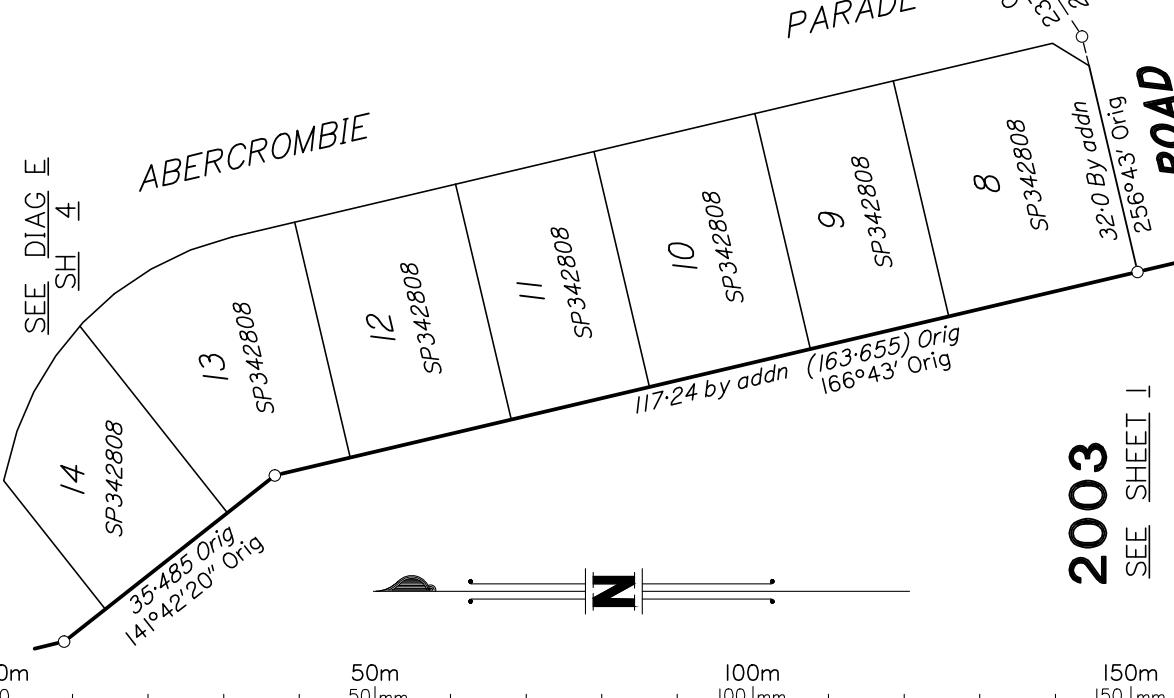
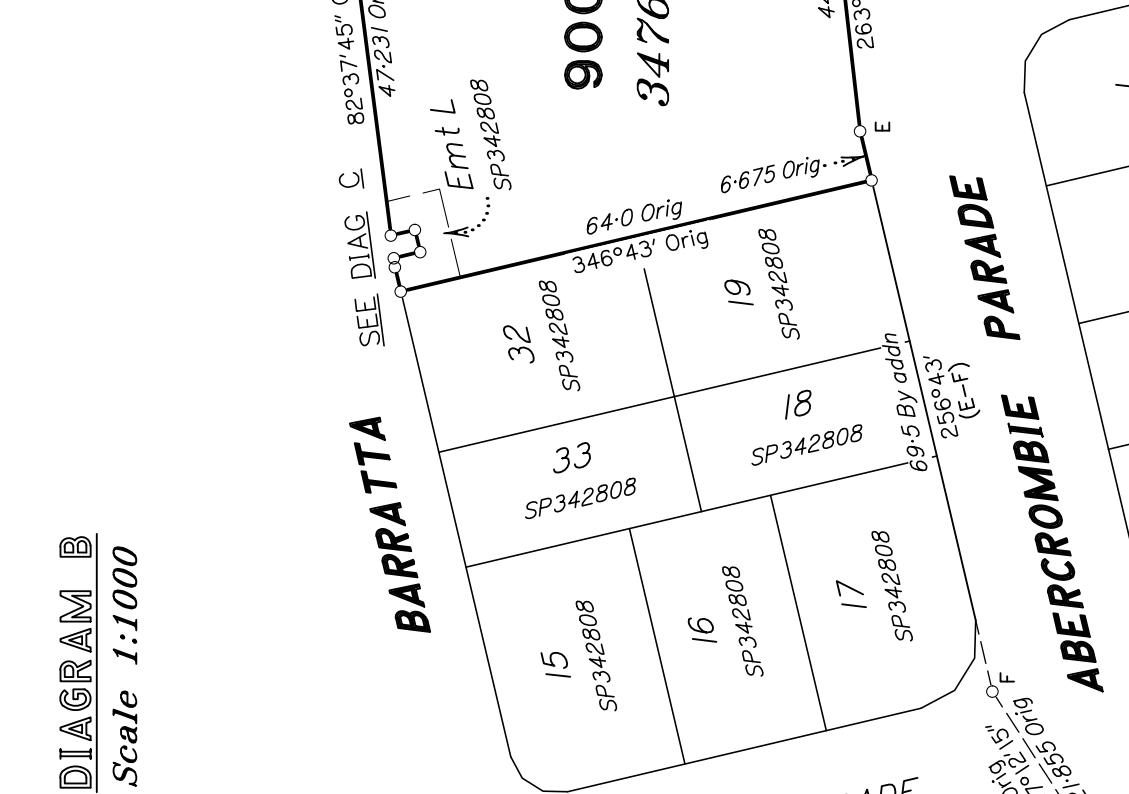
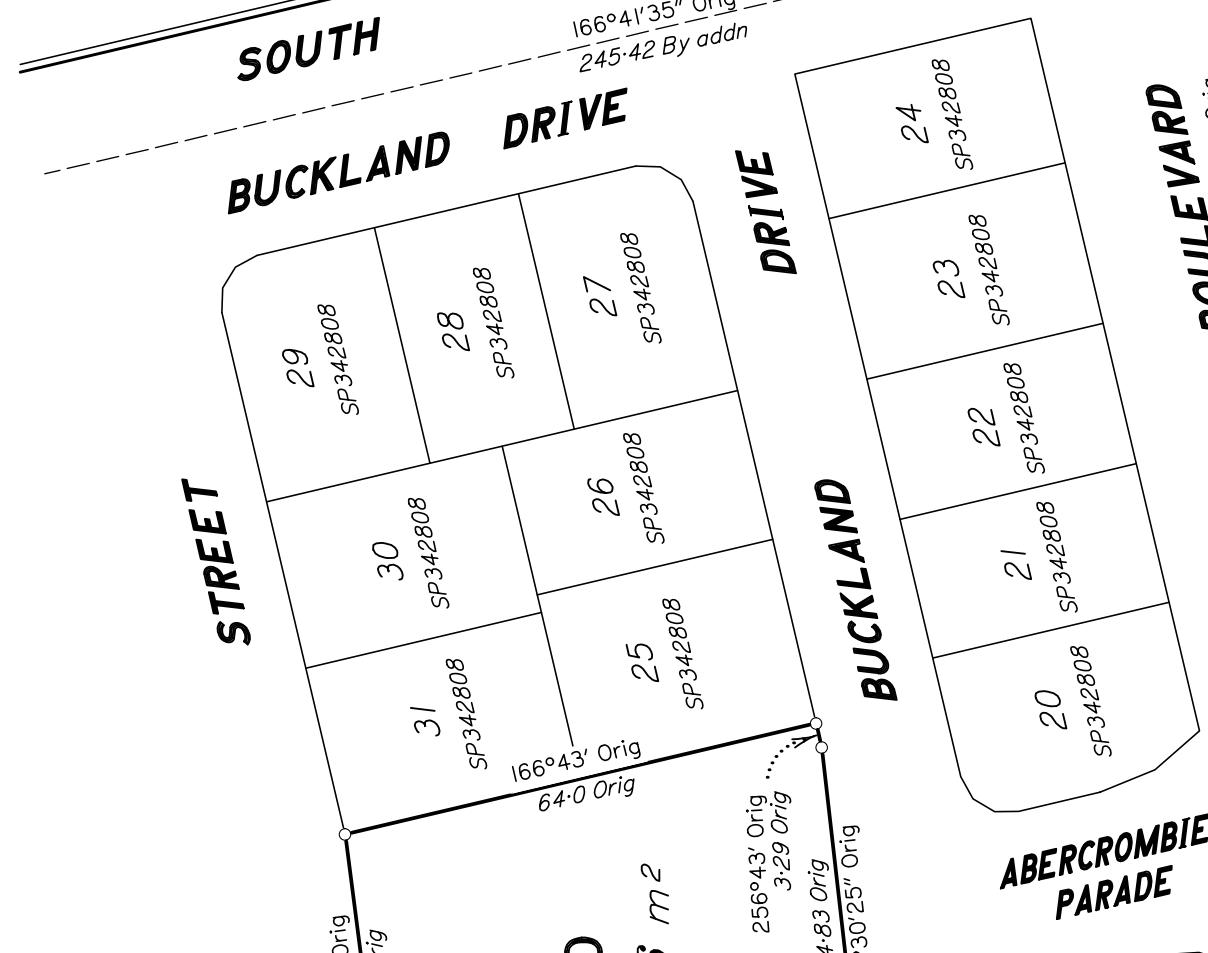
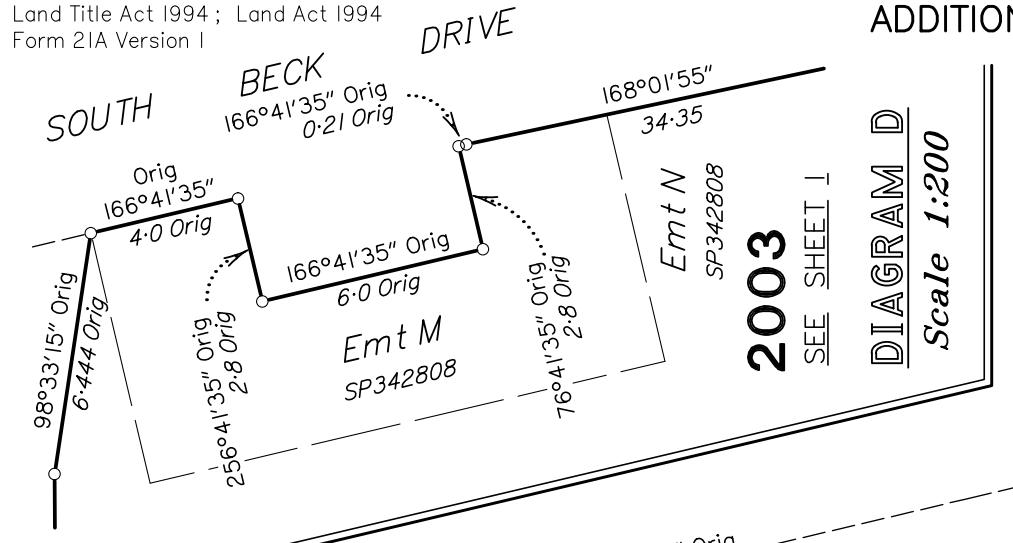
Survey Deposit	\$ .....
Lodgement	\$ .....
.....New Titles	\$ .....
Photocopy	\$ .....
Postage	\$ .....
TOTAL	\$ .....

#### 5. Passed & Endorsed :

By : BRAZIER MOTTI PTY LTD  
Date : 23/09/2025  
Signed :   
Designation : Cadastral Surveyor

8. Insert  
Plan  
Number

SP352402





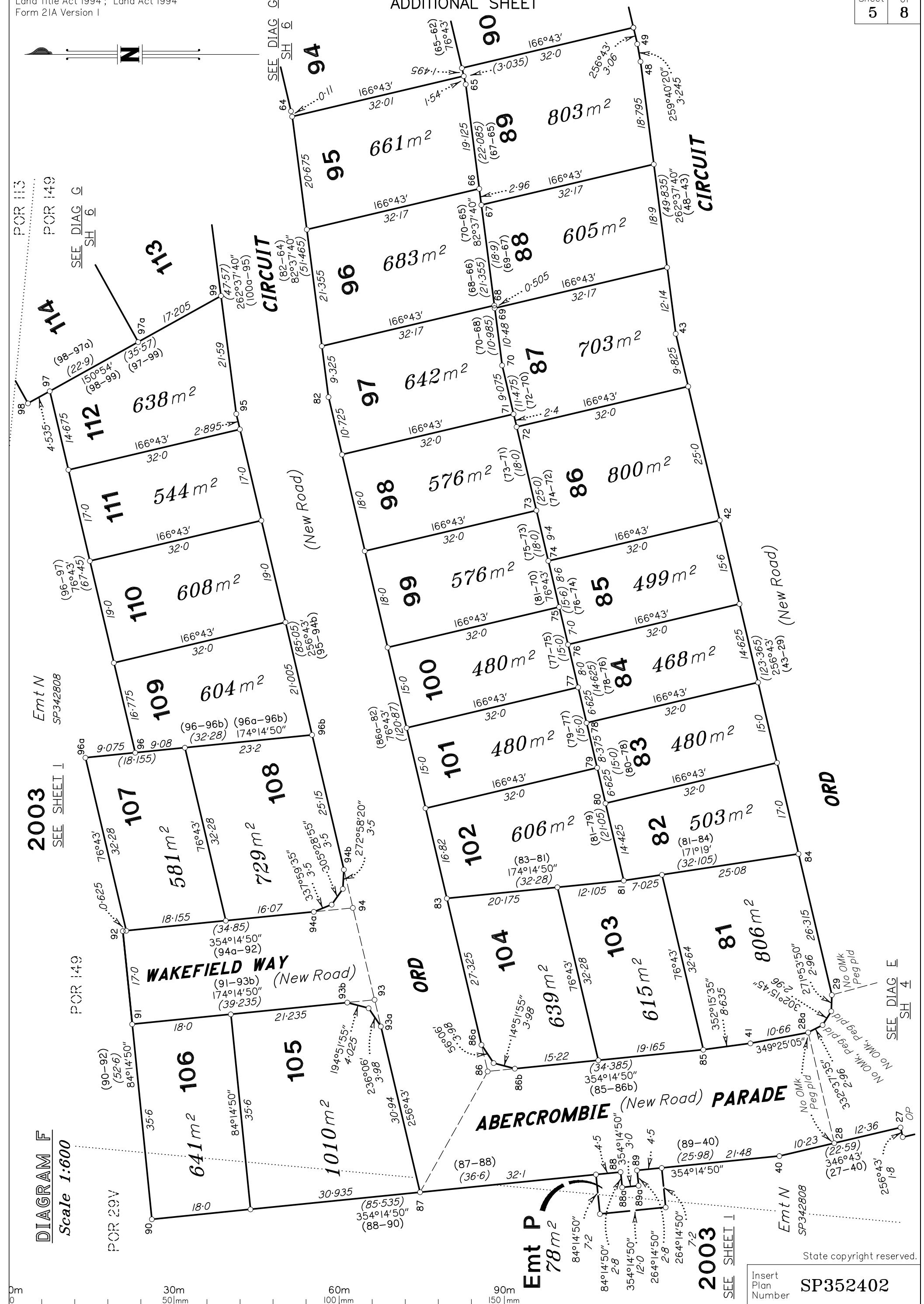


DIAGRAM G  
*Scale 1:600*

Scale 1:600

2003

SEE SHEET 1

Emt N  
SP342808

# SOUTH

N

SEE DIAG H SH Z

State copyright reserved

State copyright reserved

State copyright reserved

Insert  
Plan  
Number

**DIAGRAM H**  
Scale 1:600

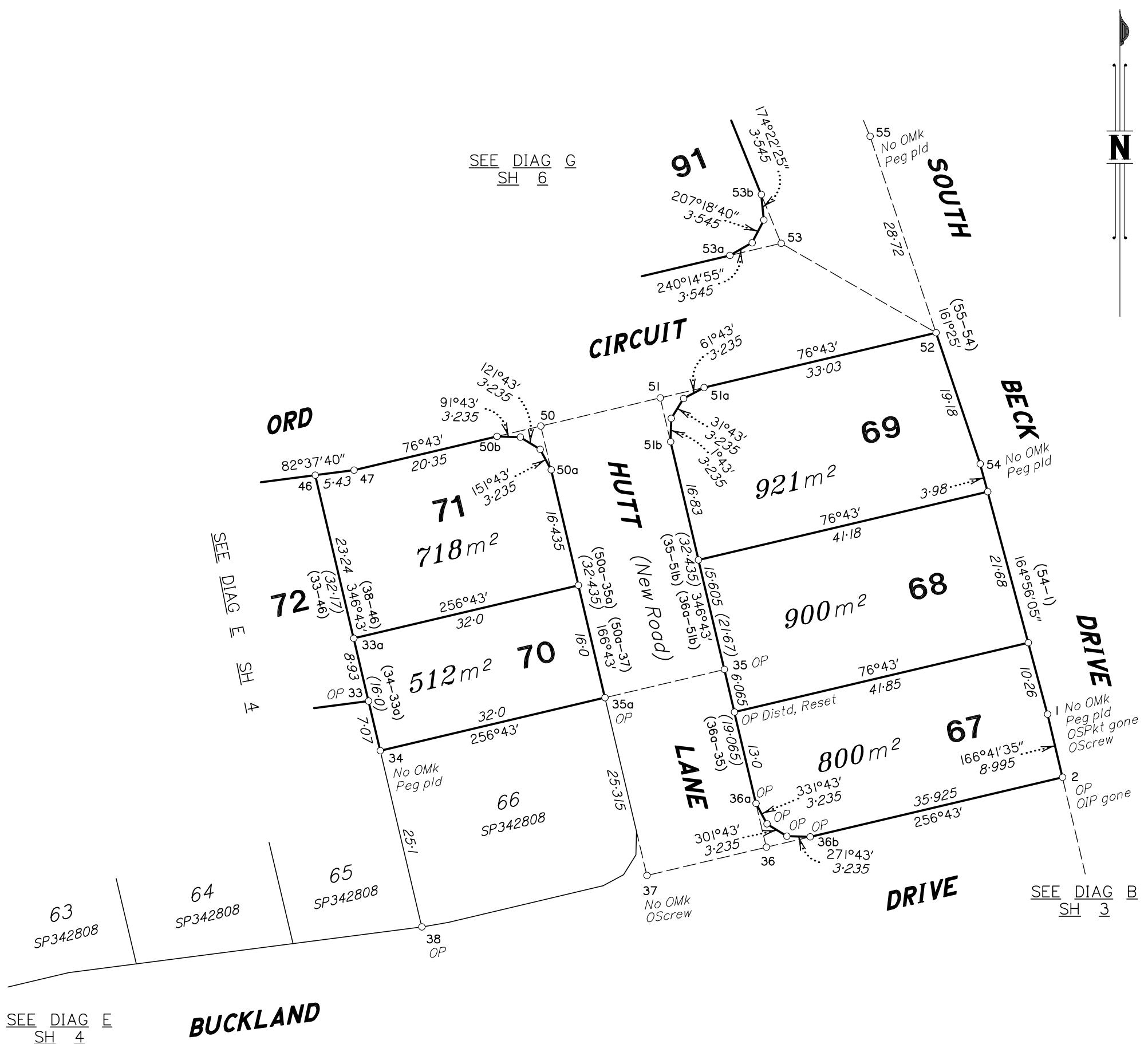


TABLE A

ORIG RIVER POINTS	
BEARING	DISTANCE
9°05'	36.1
0°24'	126.635
29°45'	85.78
15°19'45"	108.625
8°06'20"	94.575
6°09'	108.875
1°11'45"	88.815
335°55'50"	93.7
358°31'30"	71.485
348°56'30"	66.37
298°12'	102.625
322°58'40"	144.635
18°07'45"	92.605
346°47'45"	105.185
358°10'	116.255
34°36'	28.27
300°27'20"	52.165
12°39'15"	69.28
4°46'20"	83.84
4°46'20"	43.37
348°18'	80.705
348°41'30"	71.45
343°47"	20.605

TRAVERSES ETC

LINE	BEARING	DISTANCE
26-27	346°43'	6.9
28-28a	76°43'	20.635
29-29a	164°48'30"	17.01
35-35a	256°43'	17.0
36-36a	346°43'	6.25
36-36b	76°43'	6.25
36-37	256°43'	17.0
50-50a	166°43'	6.25
50-50b	256°43'	6.25
50-51	76°43'	17.0
51-51a	76°43'	6.25
51-51b	166°43'	6.25
52-53	300°0'	24.795
53-53a	256°43'	7.293
53-53b	337°54'20"	7.293
57-60	204°26'30"	21.493
60-60a	157°54'20"	5.355
60-60b	256°43'	5.355
86-86a	76°43'	4.952
86-86b	174°41'50"	4.952
86-87	299°15'	25.148
93-93a	256°43'	4.968
93-93b	354°14'50"	4.991
93-94	76°43'	17.148
94-94a	354°14'50"	7.13
94-94b	76°43'	7.13
100-100a	262°37'40"	8.468
100-100b	330°54'	8.441
100-101	74°58'	15.438
101-101a	341°30'35"	5.565
101-101b	76°43'	5.54

REFERENCE MARKS

STN	TO	ORIGIN	BEARING	DIST
1	OSPkt Gone	8/SP275832	343°43'	31.085
1	OScrew in Hdwall	1/SP342808	359°18'10"	54.34
2	OIP Gone	2/SP342808	225°23'30"	11.535
27	OScrew in Sewer MH	27/SP342808	193°37'	3.895
28a	Screw in Kb		183°41'	6.64
29	OScrew in Sewer MH	29/SP342808	24°43'	1.815
29a	I.Pin		271°38'	5.295
30	OScrew in Kb	30/SP342808	195°23'	4.345
37	OScrew in Kb	37/SP342808	146°45'30"	13.81
42	Screw in Kb		206°07'	5.225
44	Screw in Kb		279°34'	11.135
50	Screw in Kb		20°08'	1.87
51	Screw in Kb		260°11'	2.34
52	Screw in Kb		300°51'	14.095
53	Screw in Kb		112°17'	1.16
56	OIP	26a/SP120109	157°53'35"	1.0
57	Screw in Kb	24a/SP120109	150°51'35"	1.0
59	OIP		25°40'30"	2.43
60	Screw in Kb		62°05'	16.365
64	Screw in Kb		40°17'	6.02
82	Screw in Kb		291°27'	7.59
83	Screw in Kb		5°12'	0.62
86	I.Pin		133°35'30"	11.96
87	Screw in Kb		110°47'	4.82
91	Screw in Kb		243°35'	4.61
92	Screw in Kb		181°35'	3.42
93	Screw in Kb		236°59'	1.355
94	Screw in Kb		1.0	
95	I.Pin		203°21'	2.97
100	Screw in Kb		220°43'	2.805
101	Screw in Kb		176°15'	2.48
102	I.Pin		96°34'	2.105
103	Screw in Kb		174°59'	10.395

TABLE B

ORIG RIVER POINTS	
BEARING	DISTANCE
314°54'20"	76.045
355°14'35"	40.285
68°20'45"	20.154

D

PERMANENT MARKS

PM	ORIGIN	BEARING	DIST	NO	TYPE
26-OPM	26a/SP342808	52°04'30"	3.535	214800	Mini Mark

## SURVEY REPORT

### SNPOS where the feature exists in practically same location as FNPOS (section 113, compiled)

#### Section A-B-C

A first new plan of survey SP342808 was registered for the subject land on 16/01/2025 under s.108 of the SMI Act.

On the first new plan of survey, the lower top of the bank of the Bohle River was adopted as the boundary. Site inspection has confirmed that the feature is to the greatest practicable extent in the same location. Therefore, this plan being a subsequent plan of survey, the boundary has been compiled from SP342808.

### SNPOS when FNPOS compiled the water boundary under s.110 (section 113, compiled)

#### Section C-D

A first new plan of survey SP342808 was registered for the subject land on 16/01/2025 under s.110 of the SMI Act.

SP342808 verified that the bank of the Bohle River was subject to sudden change by earthworks and therefore the location at law of the boundary does not change and is compiled from the source information of the feature prior to the sudden change under s.110. The location of Bohle River is therefore compiled from the original plan E124142.

#### Datum

Meridian is MGA (Zone 55) vide SP342808, which confirmed the meridian by CORS (AUSPOS) observations and a meridian table.

Connection to datum also follows SP342808, which connected by CORS (AUSPOS) observations.

#### Boundary Reinstatement

The boundaries of Abercrombie Parade from 28-28a-30 were reinstated from the OP & OPM at Stn 26, OP & OScrew at Stn 27, OScrew at Stn 29, and OP & OScrew at Stn 30, plus deed angles and distances.

Lines 31a-31-32-33-38 were reinstated from the OP's at each Stn, with all dimensions agreeing with deed. Stn 34 was reinstated at deed distances 33-34-38.

Lines 34-35-36a-36b-2 were reinstated from Stn 34 above and OPs at each corner, supported by the OScrew at Stn 37, with all dimensions agreeing with deed.

Lines 2-1-54-55-56-58-59 were reinstated from the OP at Stn 2, OScrew at Stn 1, OIPs (since destroyed) at Stns 56 & 59, plus deed angles and distances.

All original dimensions agree with deed.

## LEGEND

	ALLOWABLE DRIVEWAY ACCESS
	SEWER MAIN & MANHOLE
	WATER MAIN, FIRE HYDRANT & SLUICE VALVE
	STORMWATER DRAINAGE LINE
	SUBSOIL DRAIN & CLEANOUT POINT
	EXISTING SEWER MAIN & MANHOLE
	EXISTING SEWER RISING MAIN
	EXISTING WATER MAIN
	EXISTING STORMWATER
	BUILDING SETBACK, REFER NOTE 3
	EXISTING UNDERGROUND OPTICAL FIBRE
	STREET TREES

## BUILDING ENVELOPES

1. IN ORDER OF PRECEDENCE, BUILDING ENVELOPE SETBACKS ARE TO COMPLY WITH THE DESIGN CODE SHOWN ON THIS PLAN THEN THE REQUIREMENTS OF THE QUEENSLAND DEVELOPMENT CODE (QDC). THESE SETBACKS MAY VARY TO ACCOMMODATE THE ZONE OF INFLUENCE OF UNDERGROUND SERVICES AS STATED IN COUNCILS POLICY ON BUILDING OVER ADJACENT SEWERS. REFER TO QDC MP 1.2 FOR PROPOSED BUILDING SETBACKS NOT SPECIFIED ON THIS PLAN
2. THE OUTERMOST PROJECTION (OP) IS A DISTANCE MEASURED FROM THE EDGE OF THE FASCIA BOARD TO THE PROPERTY BOUNDARY.
3. THE WALL SETBACK DISTANCE IS A DISTANCE MEASURED FROM THE FACE OF THE WALL TO THE PROPERTY BOUNDARY. NOTE: EAVE OVER HANG MAY PROJECT UP TO 600mm.

## DRIVEWAY ACCESS ENVELOPES

1. FOR DRIVEWAY ACCESS ENVELOPES ALLOW 0.5m MINIMUM CLEARANCE TO ALL COUNCIL INFRASTRUCTURE, EXCEPT STORMWATER PITS WHICH REQUIRE 0.6m MINIMUM CLEARANCE, AND SEWERAGE HOUSE CONNECTIONS WHICH REQUIRE 1.2m CLEARANCE.
2. ALL DRIVEWAYS REQUIRE A PERMIT FROM COUNCIL PRIOR TO CONSTRUCTION.

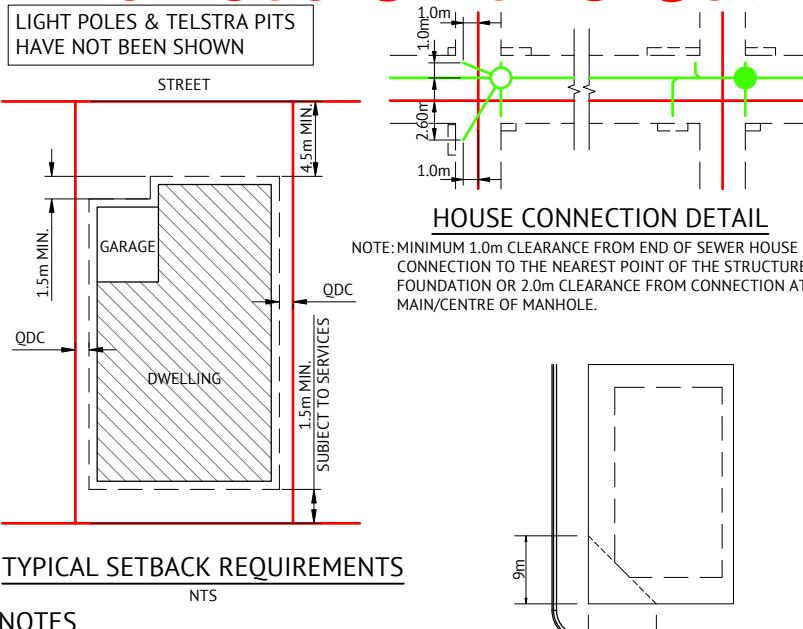
## DESIGN CODE - ALL ALLOTMENTS

TYPE	HOUSE, FRONT LOADED
LOT ACCESS	FRONT
LOT DEPTH (MIN)	25m (20m WHERE 15m WIDTH PROPOSED)
LOT WIDTH (MIN)	10.0m
SITE COVERAGE	MAY EXCEED 50% IN RESPONSE TO CODE REQUIREMENTS, BUT NO MORE THAN 60% SITE COVERAGE.
SETBACK FRONT GROUND (MIN) AND UPPER (MIN)	3.5m - 4.5m
SETBACK FRONT GARAGE	6m AND 1.5m BEHIND FRONT OF DWELLING
SETBACK CLASS 1A / PRINCIPAL SIDE GROUND (MIN)	QDC
SETBACK CLASS 1A / PRINCIPAL SIDE UPPER (MIN)	QDC
SETBACK SECONDARY ROAD FRONTAGE (MIN)	3m
SETBACK CLASS 1A / PRINCIPAL REAR (MIN)	1.5m (SEWER LINES AND MANHOLES MAY ENFORCE GREATER SETBACKS*)
CLASS 10A / OUTBUILDING (SHED) WIDTH (MAX)	LESSER OF 50% OF REAR BOUNDARY OR 9m
CLASS 10A / OUTBUILDING (SHED) DEPTH (MAX)	9m
CLASS 10A / OUTBUILDING (SHED) REAR SETBACK	0-1.0m
CLASS 10A / OUTBUILDING (SHED) SIDE SETBACK	ZERO IF LOT 12.5m WIDE. AS PER PRINCIPAL SETBACK IF LOT >12.5m WIDE
FLOOR HEIGHT CLASS 1A / PRINCIPAL (MIN)	400mm
MAXIMUM STOREYS	AS PER THE APPLICABLE SCHEME
PRIVATE OPEN SPACE (MIN) (MAY BE COVERED)	4mx4m
PARKING (MIN)	TWO (2), ONE OF WHICH MUST BE COVERED

\*NOTE: CLEARANCES TO SEWER LINES AND MANHOLES ARE REQUIRED IN ACCORDANCE WITH COUNCIL POLICY.

LIGHT POLES & TELSTRA PITS HAVE NOT BEEN SHOWN

STREET



## TYPICAL SETBACK REQUIREMENTS

## NOTES

1. 60% MAXIMUM SITE COVERAGE.
2. FOR FRONT SETBACK TO GARAGE, MEASURE FROM THE FRONT BOUNDARY TO THE GARAGE OPENING (WALL).
3. ALL OTHER SETBACKS ARE MEASURED FROM THE BOUNDARY TO THE OUTERMOST PROJECTIONS.

## STANDARD CORNER BUILDING SETBACK

SCALE 1:500

## ISSUED FOR CONSTRUCTION

05/12/2025	D	BUILDING SETBACKS AMENDED	AP
13/11/2024	C	STREET TREES ADDED	AP
29/04/2025	B	BUILDING ENVELOPE DETAILS ADDED	AP
23/07/2024	A	ISSUED FOR CONSTRUCTION	AP
31/05/2024	1	PRELIMINARY - NOT FOR CONSTRUCTION	PP
DATE	REV	DESCRIPTION	REC APP



TOWNSVILLE OFFICE  
84 DENHAM STREET  
PO BOX 1110  
TOWNSVILLE, QLD 4810  
PH: (07) 4772 0666  
WEB: www.premise.com.au

DESIGNED  
J. JONES  
CHECKED  
Z. STROGUSZ  
PROJECT MANAGER  
Z. STROGUSZ  
ENGINEERING CERTIFICATION  
A. PEASE RPEQ 22556  
A. PEASE RPEQ 22556  
A. PEASE RPEQ 22556

SCALE  
0 10 20 30m  
SCALE 1:500 (A1)  
ORIGINAL SHEET SIZE A1

CLIENT  
PROJECT  
LOCATION  
SHEET TITLE

RIVERSTONE - PRECINCT 1 - STAGE 2  
SOUTH BECK DRIVE, RASMUSSEN  
BUILDING ENVELOPE & DRIVEWAY ACCESS PLAN

Townsville City Council  
Approved Subject to Conditions  
CAR25/0609  
10/12/2025

P000870  
C022  
REV D

