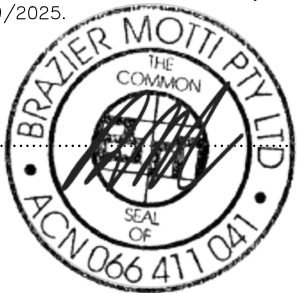
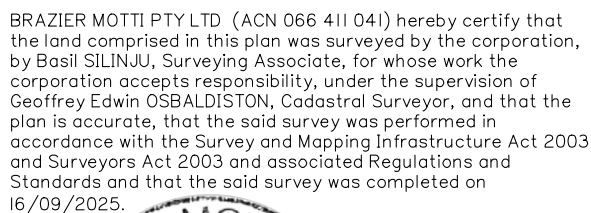


DIAGRAM A
Scale 1:2500



Date 23/09/2025

*Plan of Lots 57, 67-117,
900 & 2003
and Easement P in Lot 2003*

LOCALITY: *RASMUSSEN*

Survey Records:	No
--------------------	----

Format: **STANDARD**



SP352402

(Dealing No.)

4. Lodged by

(Include address, phone number, email, reference, and Lodger Code)

I. Existing		Created		
Title Reference	Description	New Lots	Road	Secondary Interests
51372002	Lot 2003 on SP342808	57, 67–117, 900 & 2003	New Rd	Emt P

MORTGAGE ALLOCATIONS

Mortgage	Lots Fully Encumbered	Lots Partially Encumbered
719569241	57, 67–117, 900 & 2003	

ENCUMBRANCE EASEMENT ALLOCATIONS

Easement	Lots to be Encumbered
723753718 (Emt L on SP342808)	900
723753718 (Emt M on SP342808)	2003
723753719 (Emt N on SP342808)	57, 67–117 & 2003
601382792 (Emt D on RP854052)	2003
601383636 (Emts G & H on RP854053)	2003
601443632 (Emt J on RP853740)	2003
601086955 (Emt A on RP853741)	2003
716306736 (Emt K on SP275832)	2003

Easement Emt N on SP342808 (723753719) partially absorbed by new road.

2003 117 114–116 105 & 106 57, 67–104, 107–113 & 900	Pors 149, 31V, 113, 29V & 389 Por 113 Pors 113 & 149 Pors 149 & 29V Por 149
Lots	Orig

2. Orig Grant Allocation :

3. References :

Dept File :

Local Govt :

Surveyor : 40173/017–02 – 40173_092A.dwg – WCHO – 01/2025 – V0

5. Passed & Endorsed :

By : BRAZIER MOTTI PTY LTD

Date : 23/09/2025

Signed :

Designation : Cadastral Surveyor

6. Building Format Plans only.

I certify that :

* As far as it is practical to determine, no part of the building shown on this plan encroaches onto adjoining lots or road;

* Part of the building shown on this plan encroaches onto adjoining * lots and road

.....Cadastral Surveyor/Director* Date

*delete words not required

7. Lodgement Fees :

Survey Deposit \$

Lodgement \$

.....New Titles \$

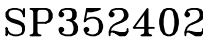
Photocopy \$

Postage \$

TOTAL \$

8. Insert
Plan
Number

SP352402







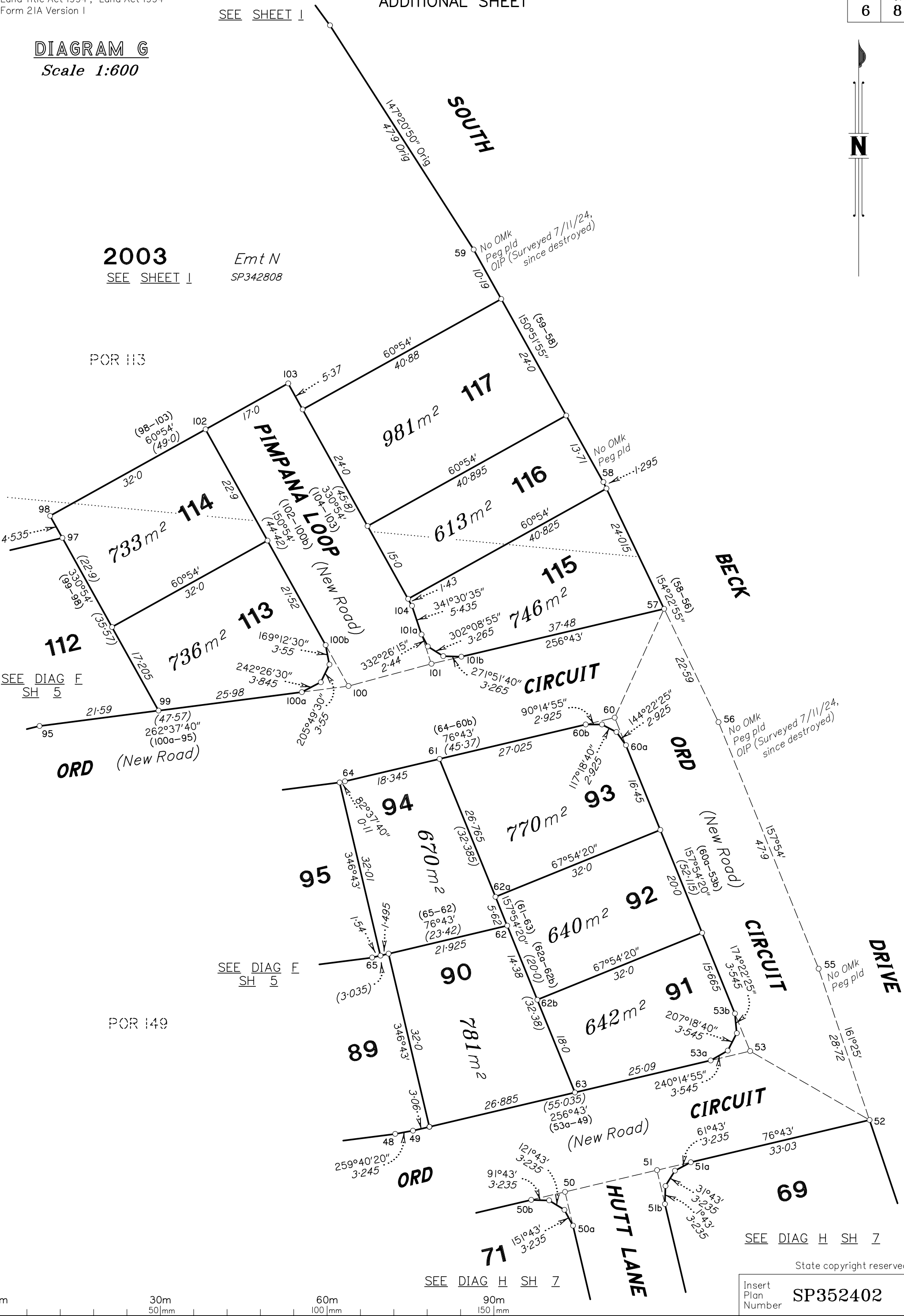
SEE SHEET 1

ADDITIONAL SHEET

DIAGRAM G
Scale 1:600

2003
SEE SHEET 1

Emt N
SP342808



State copyright reserved.

Insert Plan Number
SP352402



DIAGRAM H
Scale 1:600

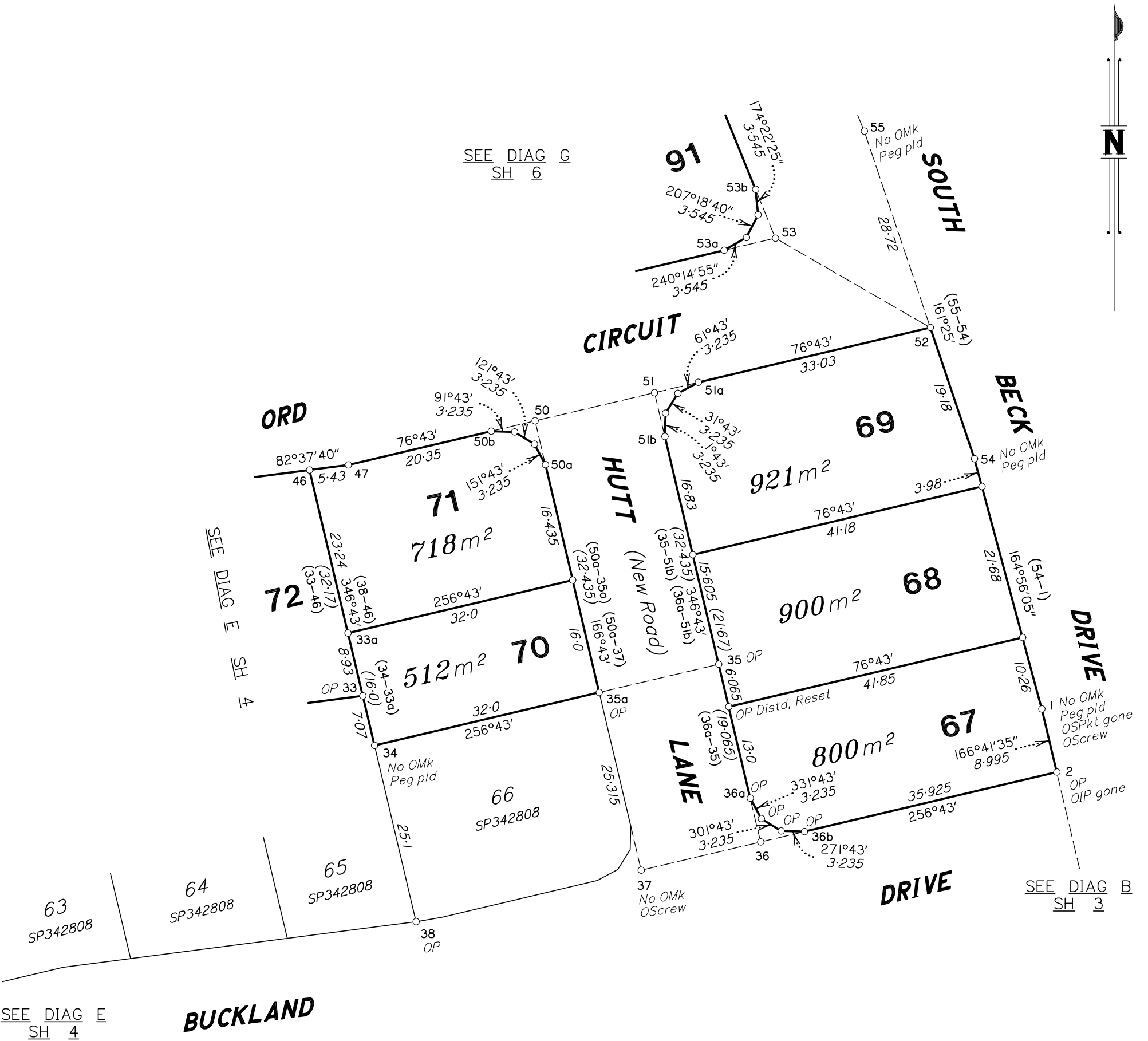


TABLE A			TRAVERSES ETC			REFERENCE MARKS				
ORIG RIVER POINTS			LINE	BEARING	DISTANCE	STN	TO	ORIGIN	BEARING	DIST
BEARING			DISTANCE							
A	9°05'	36.1	26-27	346°43'	6.9	1	OSPkt Gone	8/SP275832	343°43'	31.085
	0°24'	126.635	28-28a	76°43'	20.635	1	OScrew in Hdwall	1/SP342808	359°18'10"	54.34
	29°45'	85.78	29-29a	164°48'30"	17.01	2	OIP Gone	2/SP342808	225°23'30"	11.535
	15°19'45"	108.625	35-35a	256°43'	17.0	27	OScrew in Sewer MH	27/SP342808	19°37'	3.895
	8°06'20"	94.575	36-36a	346°43'	6.25	28a	Screw in Kb		183°41'	6.64
	6°09'	108.875	36-36b	76°43'	6.25	29	OScrew in Sewer MH	29/SP342808	24°43'	1.815
	1°11'45"	88.815	36-37	256°43'	17.0	29a	I.Pin		271°38'	5.295
	335°55'50"	93.7	50-50a	166°43'	6.25	30	OScrew in Kb	30/SP342808	195°23'	4.345
	358°31'30"	71.485	50-50b	256°43'	6.25	37	OScrew in Kb	37/SP342808	146°45'30"	13.81
	348°56'30"	66.37	50-51	76°43'	17.0	42	Screw in Kb		206°07'	5.225
	298°12'	102.625	51-51a	76°43'	6.25	44	Screw in Kb		279°34'	11.135
	322°58'40"	144.635	51-51b	166°43'	6.25	50	Screw in Kb		20°08'	1.87
	18°07'45"	92.605	52-53	300°0'	24.795	51	Screw in Kb		260°11'	2.34
	346°47'45"	105.185	53-53a	256°43'	7.293	52	Screw in Kb		300°51'	14.095
	358°10'	116.255	53-53b	337°54'20"	7.293	53	Screw in Kb		112°17'	1.16
	341°36'	28.27	57-60	204°26'30"	21.493	56	OIP	26a/SP120109	157°53'35"	1.0
	300°27'20"	52.165	60-60a	157°54'20"	5.355	57	Screw in Kb		198°54'	9.655
	12°39'15"	69.28	60-60b	256°43'	5.355	59	OIP	24a/SP120109	150°51'35"	1.0
	4°46'20"	83.84	86-86a	76°43'	4.952	60	Screw in Kb		25°40'30"	2.43
	4°46'20"	43.37	86-86b	174°14'50"	4.952	64	Screw in Kb		62°05'	16.365
B	348°18'	80.705	86-87	299°15'	25.148	82	Screw in Kb		40°17'	6.02
	348°41'30"	71.45	93-93a	256°43'	4.968	83	Screw in Kb		291°27'	7.59
	343°47'	20.605	93-93b	354°14'50"	4.991	86	I.Pin		5°12'	0.62
			93-94	76°43'	17.148	87	Screw in Kb		133°35'30"	11.96
			94-94a	354°14'50"	7.13	91	Screw in Kb		110°47'	4.82
			94-94b	76°43'	7.13	92	Screw in Kb		243°35'	4.61
			100-100a	262°37'40"	8.468	93	Screw in Kb		181°35'	3.42
			100-100b	330°54'	8.441	94	Screw in Kb		236°59'	1.355
			100-101	74°58'	15.438	95	I.Pin		203°21'	2.97
			101-101a	341°30'35"	5.565	100	Screw in Kb		220°43'	2.805
C			101-101b	76°43'	5.54	101	Screw in Kb		176°15'	2.48
						102	I.Pin		96°34'	2.105
						103	Screw in Kb		174°59'	10.395
										Surveyed 7/11/24, since destroyed
										Surveyed 7/11/24, since destroyed

TABLE B		
ORIG RIVER POINTS		
BEARING	DISTANCE	
314°54'20"	76.045	
355°14'35"	40.285	
68°20'45"	20.154	D

PERMANENT MARKS					
PM	ORIGIN	BEARING	DIST	NO	TYPE
26-OPM	26a/SP342808	52°04'30"	3.535	214800	Mini Mark

SURVEY REPORT

SNPOS where the feature exists in practically same location as FNPOS (section 113, compiled)

Section A-B-C

A first new plan of survey SP342808 was registered for the subject land on 16/01/2025 under s.108 of the SMI Act.
On the first new plan of survey, the lower top of the bank of the Bohle River was adopted as the boundary. Site inspection has confirmed that the feature is to the greatest practicable extent in the same location. Therefore, this plan being a subsequent plan of survey, the boundary has been compiled from SP342808.

SNPOS when FNPOS compiled the water boundary under s.110 (section 113, compiled)

Section C-D

A first new plan of survey SP342808 was registered for the subject land on 16/01/2025 under s.110 of the SMI Act.
SP342808 verified that the bank of the Bohle River was subject to sudden change by earthworks and therefore the location at law of the boundary does not change and is compiled from the source information of the feature prior to the sudden change under s.110. The location of Bohle River is therefore compiled from the original plan E124142.

Datum

Meridian is MGA (Zone 55) vide SP342808, which confirmed the meridian by CORS (AUSPOS) observations and a meridian table.

Connection to datum also follows SP342808, which connected by CORS (AUSPOS) observations.

Boundary Reinstatement

The boundaries of Abercrombie Parade from 28-28a-30 were reinstated from the OP & OPM at Stn 26, OP & OScrew at Stn 27, OScrew at Stn 29, and OP & OScrew at Stn 30, plus deed angles and distances.

Lines 31a-31-32-33-38 were reinstated from the OP's at each Stn, with all dimensions agreeing with deed. Stn 34 was reinstated at deed distances 33-34-38.

Lines 34-35-36a-36b-2 were reinstated from Stn 34 above and OPs at each corner, supported by the OScrew at Stn 37, with all dimensions agreeing with deed.

Lines 2-1-54-55-56-58-59 were reinstated from the OP at Stn 2, OScrew at Stn 1, OIPs (since destroyed) at Stns 56 & 59, plus deed angles and distances.

All original dimensions agree with deed.

LEGEND

- ALLOWABLE DRIVEWAY ACCESS
- SEWER MAIN & MANHOLE
- WATER MAIN, FIRE HYDRANT & SLUICE VALVE
- STORMWATER DRAINAGE LINE
- SUBSOIL DRAIN & CLEANOUT POINT
- EXISTING SEWER MAIN & MANHOLE
- EXISTING SEWER RISING MAIN
- EXISTING WATER MAIN
- EXISTING STORMWATER
- BUILDING SETBACK, REFER NOTE 3
- EXISTING UNDERGROUND OPTICAL FIBRE
- STREET TREES

BUILDING ENVELOPES

- IN ORDER OF PRECEDENCE, BUILDING ENVELOPE SETBACKS ARE TO COMPLY WITH THE DESIGN CODE SHOWN ON THIS PLAN THEN THE REQUIREMENTS OF THE QUEENSLAND DEVELOPMENT CODE (QDC). THESE SETBACKS MAY VARY TO ACCOMMODATE THE ZONE OF INFLUENCE OF UNDERGROUND SERVICES AS STATED IN COUNCIL'S POLICY ON BUILDING OVER ADJACENT SEWERS. REFER TO QDC MP 1.2 FOR PROPOSED BUILDING SETBACKS NOT SPECIFIED ON THIS PLAN.
- THE OUTERMOST PROJECTION (OP) IS A DISTANCE MEASURED FROM THE EDGE OF THE FASCIA BOARD TO THE PROPERTY BOUNDARY.
- THE WALL SETBACK DISTANCE IS A DISTANCE MEASURED FROM THE FACE OF THE WALL TO THE PROPERTY BOUNDARY. NOTE: EAVE OVER HANG MAY PROJECT UP TO 600mm.

DRIVEWAY ACCESS ENVELOPES

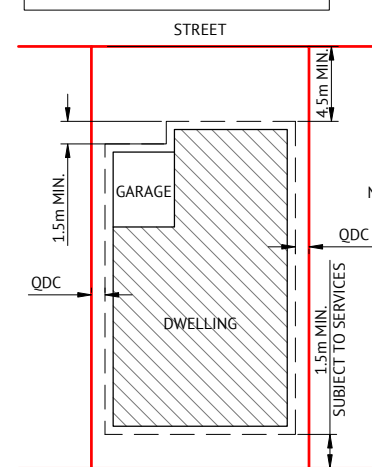
- FOR DRIVEWAY ACCESS ENVELOPES ALLOW 0.5m MINIMUM CLEARANCE TO ALL COUNCIL INFRASTRUCTURE, EXCEPT STORMWATER PITS WHICH REQUIRE 0.6m MINIMUM CLEARANCE, AND SEWERAGE HOUSE CONNECTIONS WHICH REQUIRE 1.2m CLEARANCE. ALL DRIVEWAYS REQUIRE A PERMIT FROM COUNCIL PRIOR TO CONSTRUCTION.

DESIGN CODE - ALL ALLOTMENTS

TYPE	HOUSE, FRONT LOADED
LOT ACCESS	FRONT
LOT DEPTH (MIN)	25m (20m WHERE 15m WIDTH PROPOSED)
LOT WIDTH (MIN)	10.0m
SITE COVERAGE	MAY EXCEED 50% IN RESPONSE TO CODE REQUIREMENTS, BUT NO MORE THAN 60% SITE COVERAGE.
SETBACK FRONT GROUND (MIN) AND UPPER (MIN)	7.5m 4.5m
SETBACK FRONT GARAGE	6m AND 1.5m BEHIND FRONT OF DWELLING
SETBACK CLASS 1A / PRINCIPAL SIDE GROUND (MIN)	QDC
SETBACK CLASS 1A / PRINCIPAL SIDE UPPER (MIN)	QDC
SETBACK SECONDARY ROAD FRONTAGE (MIN)	5m
SETBACK CLASS 1A / PRINCIPAL REAR (MIN)	1.5m (SEWER LINES AND MANHOLES MAY ENFORCE GREATER SETBACKS)
CLASS 10A / OUTBUILDING (SHED) WIDTH (MAX)	LESSER OF 50% OF REAR BOUNDARY OR 9m
CLASS 10A / OUTBUILDING (SHED) DEPTH (MAX)	9m
CLASS 10A / OUTBUILDING (SHED) REAR SETBACK	0-1.0m
CLASS 10A / OUTBUILDING (SHED) SIDE SETBACK	ZERO IF LOT 12.5m WIDE. AS PER PRINCIPAL SETBACK IF LOT >12.5m WIDE
FLOOR HEIGHT CLASS 1A / PRINCIPAL (MIN)	400mm
MAXIMUM STOREYS	AS PER THE APPLICABLE SCHEME
PRIVATE OPEN SPACE (MIN) (MAY BE COVERED)	4mx4m
PARKING (MIN)	TWO (2), ONE OF WHICH MUST BE COVERED

*NOTE: CLEARANCES TO SEWER LINES AND MANHOLES ARE REQUIRED IN ACCORDANCE WITH COUNCIL POLICY.

LIGHT POLES & TELSTRA PITS HAVE NOT BEEN SHOWN



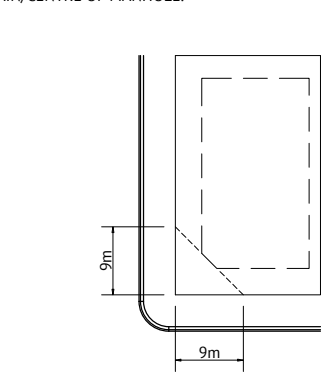
TYPICAL SETBACK REQUIREMENTS

NOTES

- 60% MAXIMUM SITE COVERAGE.
- FOR FRONT SETBACK TO GARAGE, MEASURE FROM THE FRONT BOUNDARY TO THE GARAGE OPENING (WALL).
- ALL OTHER SETBACKS ARE MEASURED FROM THE BOUNDARY TO THE OUTERMOST PROJECTIONS.

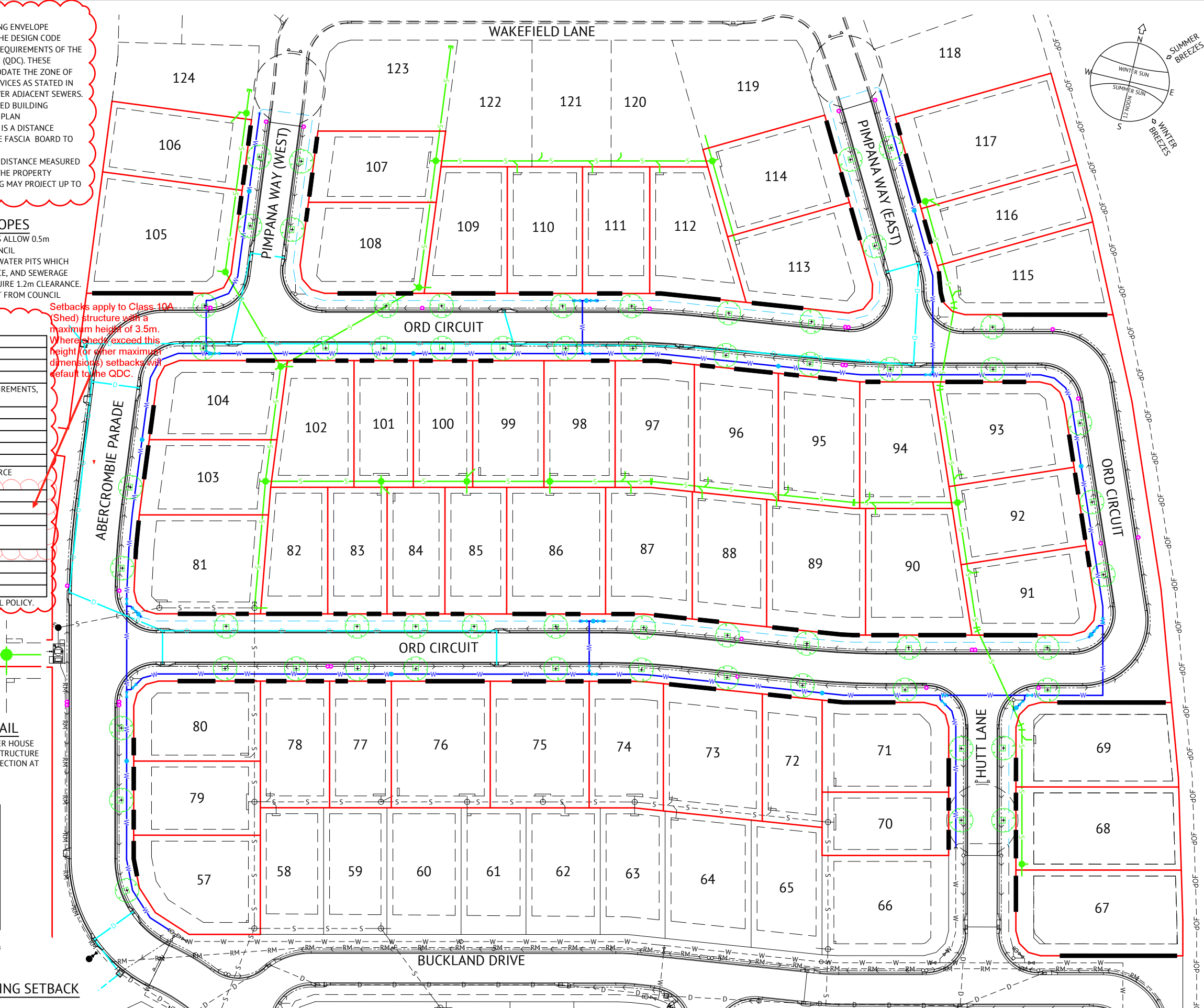
HOUSE CONNECTION DETAIL

NOTE: MINIMUM 1.0m CLEARANCE FROM END OF SEWER HOUSE CONNECTION TO THE NEAREST POINT OF THE STRUCTURE FOUNDATION OR 2.0m CLEARANCE FROM CONNECTION AT MAIN/CENTRE OF MANHOLE.



STANDARD CORNER BUILDING SETBACK

SCALE 1:500



ISSUED FOR CONSTRUCTION

DATE	REV	DESCRIPTION	REC	APP
05/12/2025	D	BUILDING SETBACKS AMENDED		AP
13/11/2024	C	STREET TREES ADDED	JJ	AP
29/04/2025	B	BUILDING ENVELOPE DETAILS ADDED	JJ	AP
23/07/2024	A	ISSUED FOR CONSTRUCTION	JJ	AP
31/05/2024	1	PRELIMINARY - NOT FOR CONSTRUCTION	JJ	PP



TOWNSVILLE OFFICE
84 DENHAM STREET
PO BOX 1110
TOWNSVILLE, QLD 4810
PH: (07) 4772 0666
WEB: www.premise.com.au

DESIGNED
J JONES
CHECKED
Z STROGUSZ
PROJECT MANAGER
Z STROGUSZ
ENGINEERING CERTIFICATION
A PEASE RPEQ 22556

SCALE
0 10 20 30m
SCALE 1:500 (A1)
ORIGINAL SHEET SIZE A1

CLIENT
PROJECT
LOCATION
SHEET TITLE

ELEMENTS RASMUSSEN PTY LIMITED
RIVERSTONE - PRECINCT 1 - STAGE 2
SOUTH BECK DRIVE, RASMUSSEN
BUILDING ENVELOPE & DRIVEWAY ACCESS PLAN

Townsville City Council
Approved Subject to Conditions
CAR25/0609
10/12/2025

JOB CODE
P000870
SHEET NUMBER
C022
REV
D