



VENDOR: ELEMENTS RASMUSSEN PTY LTD

Revisions			
No.	Date	Details	Check
A	16.06.25	Original Issue	GEO
B	17.09.25	Street names updated	GEO

Level Datum: A.H.D Der
 B.M. Used: PSM114264 RL:19.281
 Coordinate Projection: Plane
 Coordinate Datum: Arbitrary
 Origin of Coordinates: PSM114264
 Meridian: MGA Zone 55
 Map Reference: 8259-31231
 Contour Interval: 0.05m
 Job No: 40173/014-03
 File No: 40173_112B.dwg

Client: **ELEMENTS RASMUSSEN PTY LTD**
 Project: **DISCLOSURE PLAN OF LOTS**
118-141 AND 151-156
BEING PART OF LOT 2003 ON SP342808
 Surveyed by: **Drawn: MJM**
 Approved: **Local Authority: Townsville City Council**
Locality: Rasmussen

Date: 16th June, 2025
 Sheet 1 of 2 Sheets
 Scale: 1:750 A3
 Plan No: 40173/112 B

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 TOWNPLANNING
 PROJECT MANAGEMENT
 MAPPING & GIS

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LEGEND

- 4.50 — Natural Surface Contour based on A.H.D., 0.2m Interval
- 6.6 --- Finished Surface Contour based on A.H.D., 0.05m Interval
- C0.57 Cut or Fill heights at Lot corners
- x4.67 Final Surface Levels at Lot corners based on A.H.D.
-  Top of Batter
-  Toe of Batter
-  Sewer Alignment
-  Sewer M/H
-  Areas subject to Fill



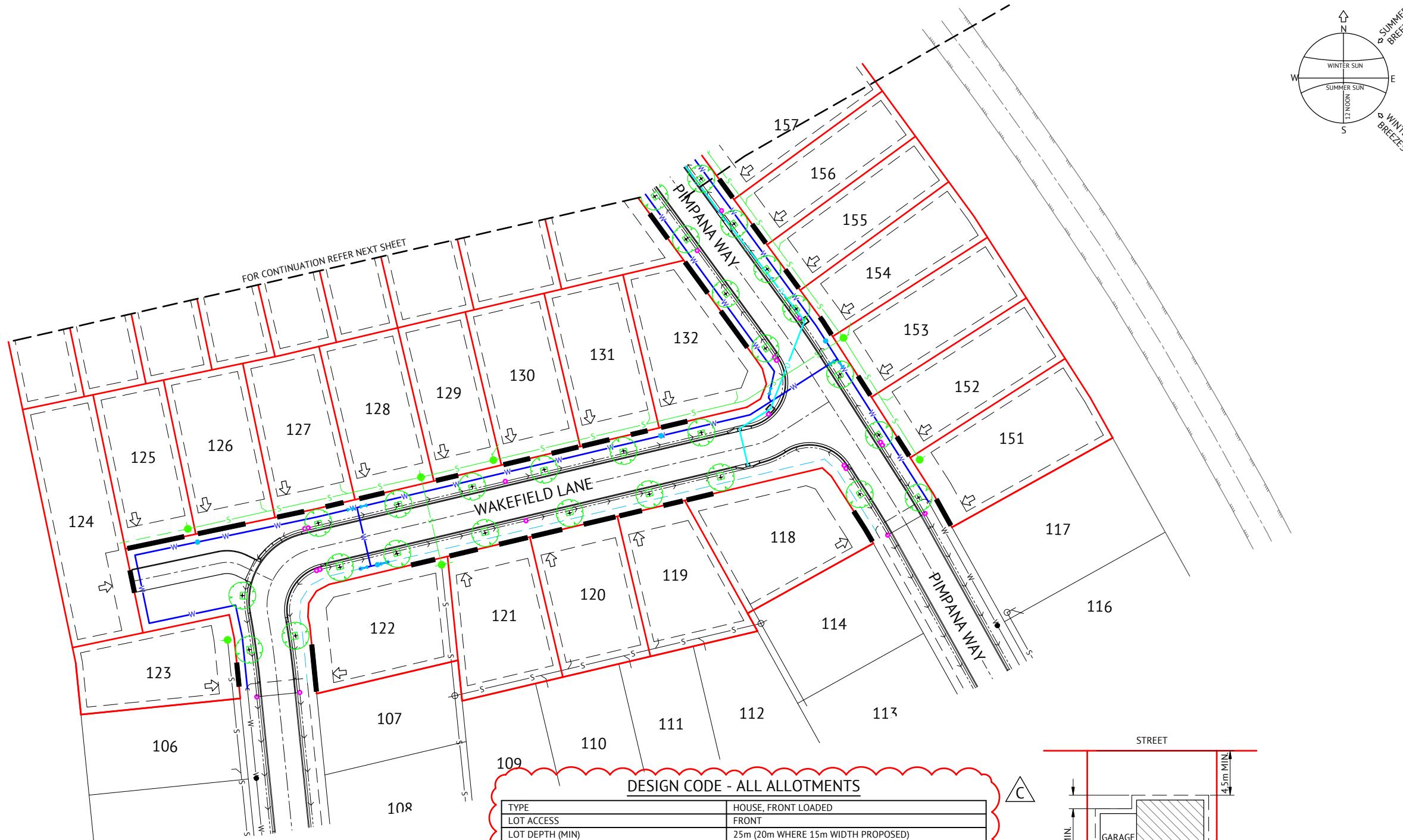
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Job No: 40173/014-03
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Project: DISCLOSURE PLAN OF LOTS 142-150 AND 157-171 BEING PART OF LOT 2003 ON SP342808
Surveyed by: Drawn: MJM Approved:
Local Authority: Townsville City Council Locality: Rasmussen

Date: 16th June, 2025
Sheet 2 of 2 Sheets
Scale: 1:750 A3
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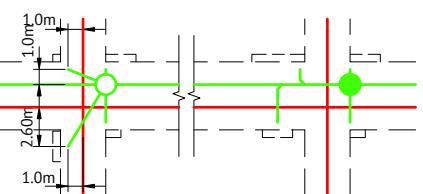


BUILDING ENVELOPES

1. IN ORDER OF PRECEDENCE, BUILDING ENVELOPE SETBACKS ARE TO COMPLY WITH THE DESIGN CODE SHOWN ON THIS PLAN THEN THE REQUIREMENTS OF THE QUEENSLAND DEVELOPMENT CODE (QDC). THESE SETBACKS MAY VARY TO ACCOMMODATE THE ZONE OF INFLUENCE OF UNDERGROUND SERVICES AS STATED IN COUNCILS POLICY ON BUILDING OVER ADJACENT SEWERS. REFER TO QDC MP 1.2 FOR PROPOSED BUILDING SETBACKS NOT SPECIFIED ON THIS PLAN
2. THE OUTERMOST PROJECTION (OP) IS A DISTANCE MEASURED FROM THE EDGE OF THE FASCIA BOARD TO THE PROPERTY BOUNDARY.
3. THE WALL SETBACK DISTANCE IS A DISTANCE MEASURED FROM THE FACE OF THE WALL TO THE PROPERTY BOUNDARY. NOTE: EAVE OVER HANG MAY PROJECT UP TO 600mm.

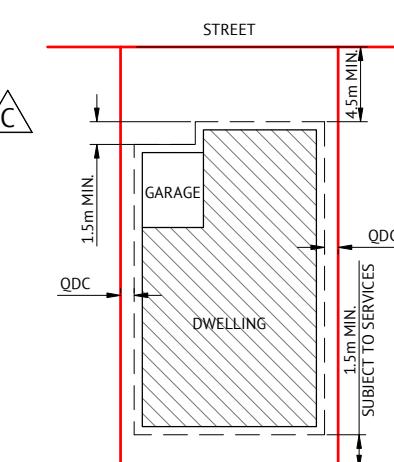
DRIVEWAY ACCESS ENVELOPES

1. FOR DRIVEWAY ACCESS ENVELOPES ALLOW 0.5m MINIMUM CLEARANCE TO ALL COUNCIL INFRASTRUCTURE, EXCEPT STORMWATER PITS WHICH REQUIRE 0.6m MINIMUM CLEARANCE, AND SEWERAGE HOUSE CONNECTIONS WHICH REQUIRE 1.2m CLEARANCE.
2. ALL DRIVEWAYS REQUIRE A PERMIT FROM COUNCIL PRIOR TO CONSTRUCTION.



HOUSE CONNECTION DETAIL

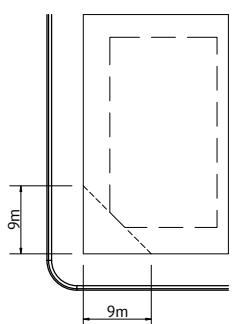
NOTE: MINIMUM 1.0m CLEARANCE FROM END OF SEWER HOUSE CONNECTION TO THE NEAREST POINT OF THE STRUCTURE FOUNDATION OR 2.0m CLEARANCE FROM CONNECTION AT MAIN/CENTRE OF MANHOLE.



TYPICAL SETBACK REQUIREMENTS

NOTES

1. 60% MAXIMUM SITE COVERAGE.
2. FOR FRONT SETBACK TO GARAGE, MEASURE FROM THE FRONT BOUNDARY TO THE GARAGE OPENING (WALL).
3. ALL OTHER SETBACKS ARE MEASURED FROM THE BOUNDARY TO THE OUTERMOST PROJECTIONS.



STANDARD CORNER BUILDING SETBACK

SCALE 1:500

LIGHT POLES & TELSTRA PITS
HAVE NOT BEEN SHOWN

DESIGN CODE - ALL ALLOTMENTS	
TYPE	HOUSE, FRONT LOADED
LOT ACCESS	FRONT
LOT DEPTH (MIN)	25m (20m WHERE 15m WIDTH PROPOSED)
LOT WIDTH (MIN)	10.0m
SITE COVERAGE	MAY EXCEED 50% IN RESPONSE TO CODE REQUIREMENTS, BUT NO MORE THAN 60% SITE COVERAGE.
SETBACK FRONT GROUND (MIN) AND UPPER (MIN)	4.5m
SETBACK FRONT GARAGE	6m AND 1.5m BEHIND FRONT OF DWELLING
SETBACK CLASS 1A / PRINCIPAL SIDE GROUND (MIN)	QDC
SETBACK CLASS 1A / PRINCIPAL SIDE UPPER (MIN)	QDC
SETBACK SECONDARY ROAD FRONTAGE (MIN)	3m
SETBACK CLASS 1A / PRINCIPAL REAR (MIN)	1.5m (SEWER LINES AND MANHOLES MAY ENFORCE GREATER SETBACKS)*
CLASS 10A / OUTBUILDING (SHED) WIDTH (MAX)	LESSER OF 50% OF REAR BOUNDARY OR 9m**
CLASS 10A / OUTBUILDING (SHED) DEPTH (MAX)	9m**
CLASS 10A / OUTBUILDING (SHED) REAR SETBACK	0-1.0m**
CLASS 10A / OUTBUILDING (SHED) SIDE SETBACK	ZERO IF LOT 12.5m WIDE, AS PER PRINCIPAL SETBACK IF LOT >12.5m WIDE**
FLOOR HEIGHT CLASS 1A / PRINCIPAL (MIN)	400mm
MAXIMUM STOREYS	AS PER THE APPLICABLE SCHEME
PRIVATE OPEN SPACE (MIN) (MAY BE COVERED)	4mx4m
PARKING (MIN)	TWO (2), ONE OF WHICH MUST BE COVERED

*NOTE: CLEARANCES TO SEWER LINES AND MANHOLES ARE REQUIRED IN ACCORDANCE WITH COUNCIL POLICY.
**NOTE: SETBACKS APPLY TO CLASS 10A / OUTBUILDING (SHED) STRUCTURE WITH MAXIMUM HEIGHT OF 3.5m. WHERE THE STRUCTURE EXCEEDS THIS HEIGHT (OR OTHER MAXIMUM DIMENSIONS), SETBACKS ARE TO DEFAULT TO THE QDC.

FOR CONSTRUCTION

18/12/2025	C	AMENDED BUILDING SETBACKS	KK AP	
05/12/2025	B	AMENDED BUILDING SETBACKS	KK AP	
01/08/2025	A	ISSUED FOR CONSTRUCTION	KK AP	
29/05/2025	1	ISSUED FOR OPERATIONAL WORKS APPROVAL	KK AP	
DATE	REV	DESCRIPTION	REC APP	



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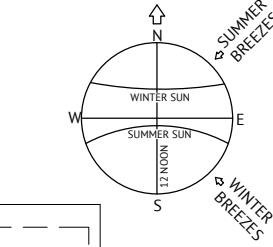
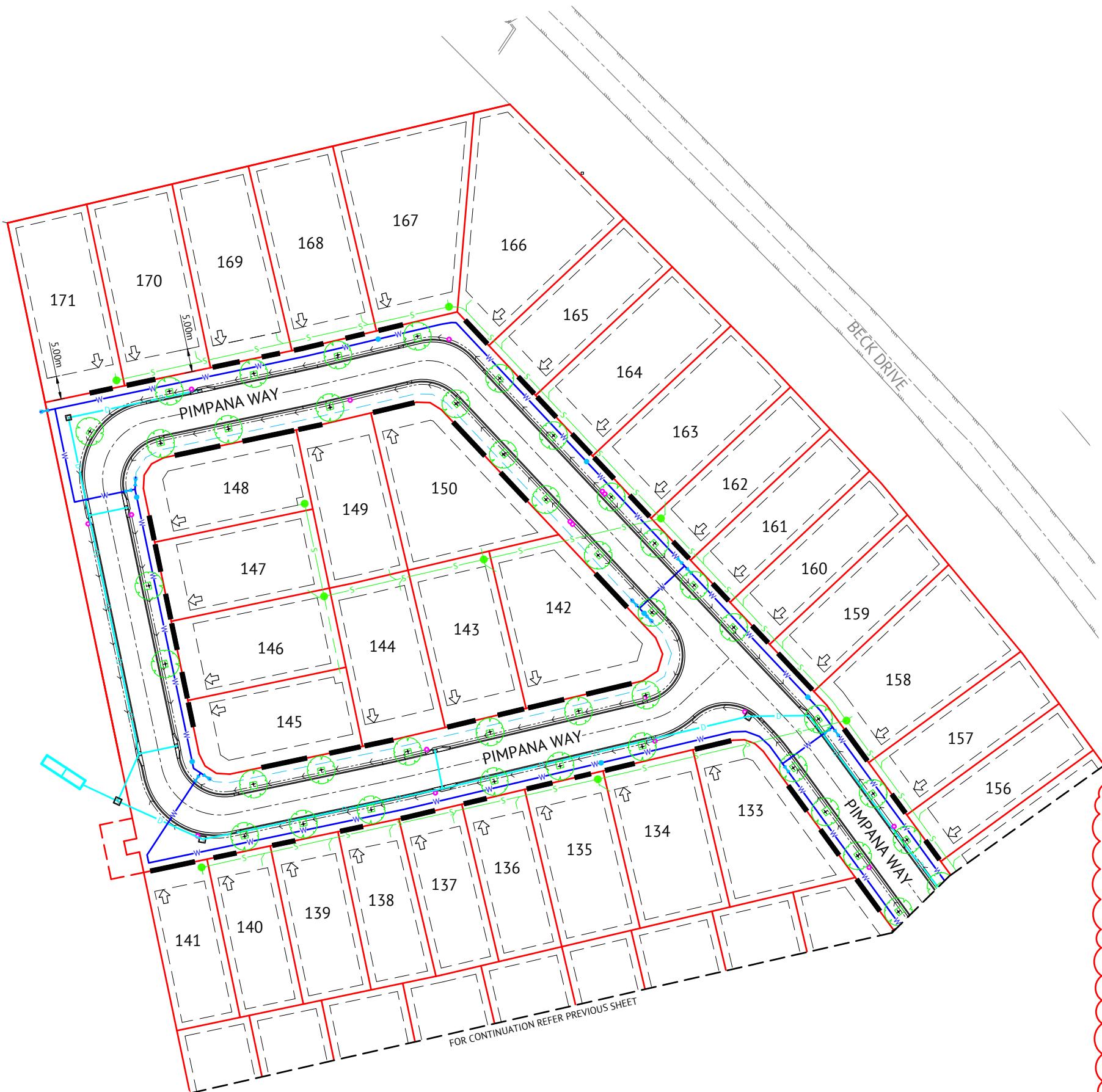
DESIGNED
K. KOUZANI
CHECKED
Z. STROGUSZ
PROJECT MANAGER
Z. STROGUSZ
ENGINEERING CERTIFICATION
A. PEASE RPEQ 22556
A.P.

SCALE
0 10 20 30m
SCALE 1:500 (A1)
ORIGINAL SHEET SIZE A1

CLIENT
PROJECT
LOCATION
SHEET TITLE

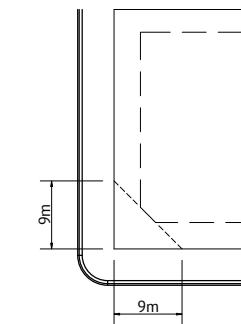
ELEMENTS RASMUSSEN PTY LIMITED
RIVERSTONE - PRECINCT 1 - STAGE 3
SOUTH BECK DRIVE, RASMUSSEN
BUILDING ENVELOPE & DRIVEWAY ACCESS PLAN - SHEET 1 OF 2

JOB CODE
P001814
SHEET NUMBER
C030
REV
C



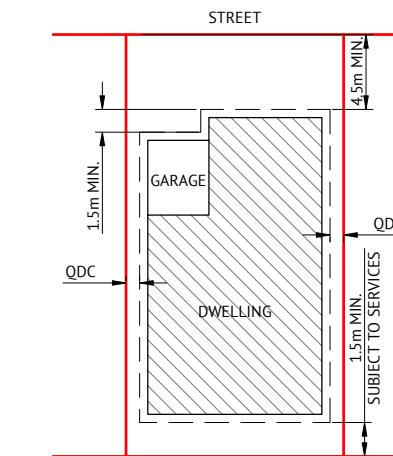
LEGEND

- PORTICO BUILDING ENVELOPE
- HABITABLE ROOM BUILDING ENVELOPE
- GARAGE BUILDING ENVELOPE
- ALLOWABLE DRIVEWAY ACCESS
- STORMWATER DRAINAGE LINE
- SUBSOIL DRAIN & CLEANOUT POINT
- WATER MAIN, FIRE HYDRANT & VALVE
- POLYETHYLENE WATER MAIN
- SEWER MAIN & MANHOLE
- PREFERRED DRIVEWAY LOCATION
- ABOVE GROUND ERGON CABINET



STANDARD CORNER BUILDING SETBACK

SCALE 1:500



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PROJECT

LOCATION

SHEET TITLE

ELEMENTS RASMUSSEN PTY LIMITED
RIVERSTONE - PRECINCT 1 - STAGE 3

SOUTH BECK DRIVE, RASMUSSEN

BUILDING ENVELOPE & DRIVEWAY ACCESS PLAN - SHEET 2 OF 2

JOB CODE
P001814

SHEET NUMBER
C031

REV
C