

RIVERSTONE
STAGE 3



Revisions			
No.	Date	Details	Check
A	16.06.25	Original Issue	GEO
B	17.09.25	Street names updated	GEO

Level Datum: A.H.D Der	
B.M. Used: PSM114264 RL:19.281	
Coordinate Projection: Plane	
Coordinate Datum: Arbitrary	
Origin of Coordinates: PSM114264	E: 70884.259
Meridian: MGA Zone 55	N: 60100.360
Map Reference: 8259-31231	
Contour Interval: 0.05m	
Job No: 40173/014-03	Surveyed by:
File No: 40173_112B.dwg	Drawn: MJM
	Approved:

Client: ELEMENTS RASMUSSEN PTY LTD	
Project: DISCLOSURE PLAN OF LOTS 118-141 AND 151-156 BEING PART OF LOT 2003 ON SP342808	
Local Authority: Townsville City Council	Locality: Rasmussen

Date: 16th June, 2025		
Sheet 1	of 2	Sheets
Scale: 1:750		A3
Plan No: 40173/112 B		



RIVERSTONE

STAGE 3

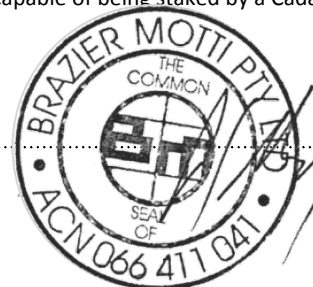


LEGEND

- 4.50 Natural Surface Contour based on A.H.D., 0.2m Interval
- 6.6 Finished Surface Contour based on A.H.D., 0.05m Interval
- C0.57 Cut or Fill heights at Lot corners
- x4.67 Final Surface Levels at Lot corners based on A.H.D.
- Top of Batter
- Toe of Batter
- Sewer Alignment
- Sewer M/H
- Areas subject to Fill

2003
SP342808

BRAZIER MOTTI PTY. LTD. ACN 066 411 041
hereby certify that the proposed allotments shown hereon
are capable of being staked by a Cadastral Surveyor.



Director

Date ...17-09-25...

WHERE FILL IS SHOWN ON A LOT, COMPACTION OF
EARTHWORKS WILL BE DONE IN ACCORDANCE WITH
AS3798-2007 - GUIDELINES ON EARTHWORKS FOR
COMMERCIAL AND RESIDENTIAL DEVELOPMENTS. TESTING
FREQUENCY AND LOT SIZES AND THE TYPE OF TESTING IS AS PER
THE REQUIREMENTS OF AS3798 LEVEL 1 TESTING.

VENDOR: ELEMENTS RASMUSSEN PTY LTD

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Surveyed by:
Drawn: MJM
Approved:

Client:

Project:

Local Authority: Townsville City Council

ELEMENTS RASMUSSEN PTY LTD

DISCLOSURE PLAN OF LOTS
142-150 AND 157-171
BEING PART OF LOT 2003 ON SP342808

Locality: Rasmussen

Date: 16th June, 2025

Sheet 2 of 2 Sheets

Scale: 1:750

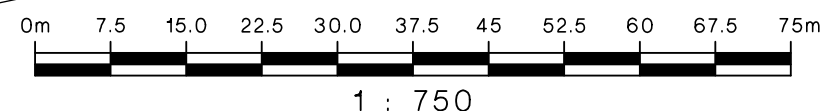
Plan No: 40173/112 B

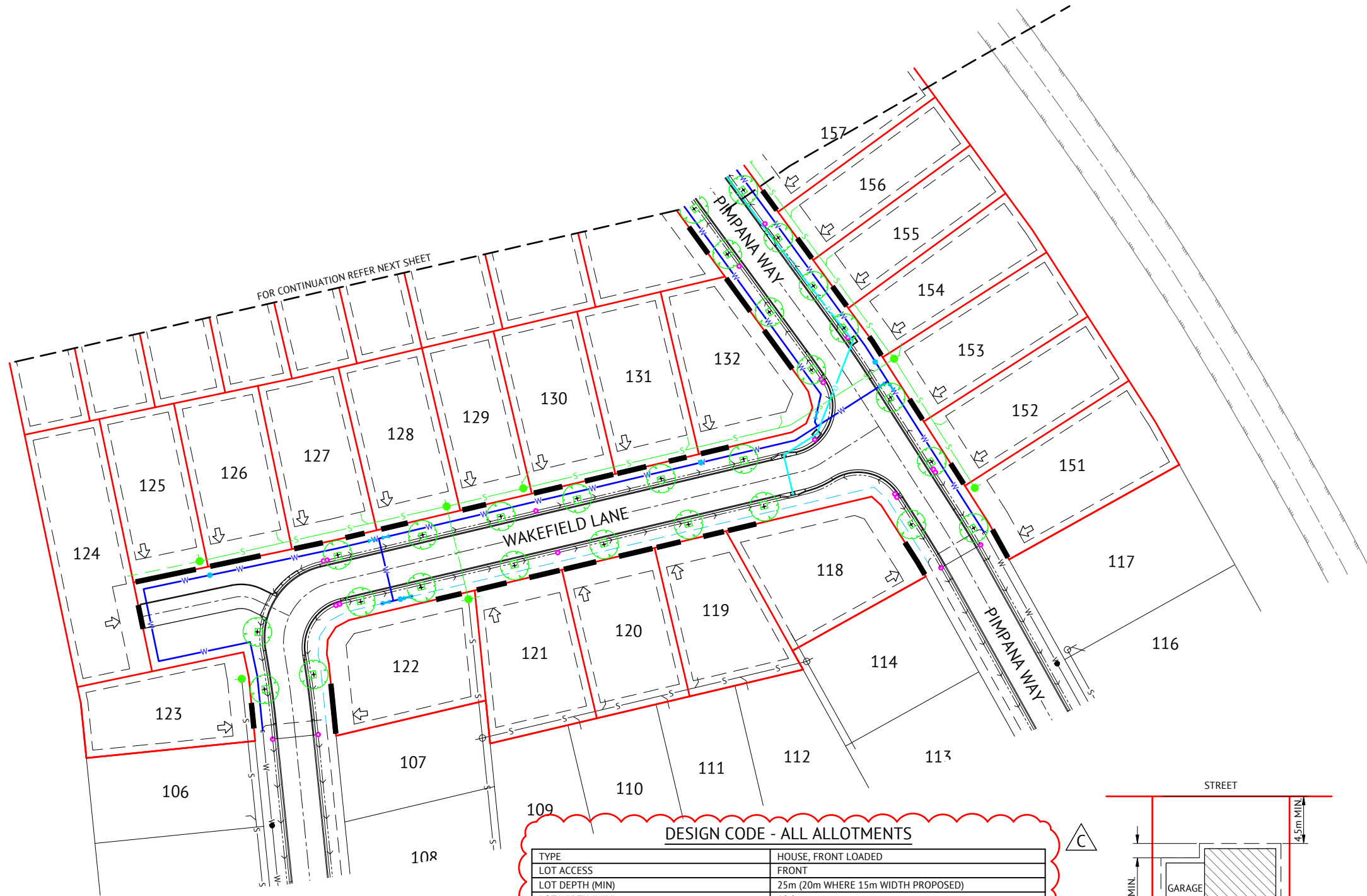
braziermotti.com.au

SURVEYING
TOWNPLANNING
PROJECT MANAGEMENT
MAPPING & GIS



brazier motti





LEGEND

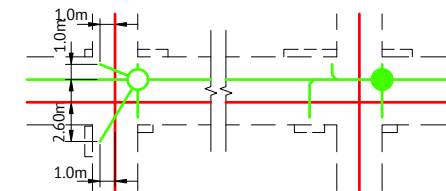
- PORTICO BUILDING ENVELOPE
- HABITABLE ROOM BUILDING ENVELOPE
- GARAGE BUILDING ENVELOPE
- ALLOWABLE DRIVEWAY ACCESS
- STORMWATER DRAINAGE LINE
- SUBSOIL DRAIN & CLEANOUT POINT
- WATER MAIN, FIRE HYDRANT & VALVE
- POLYETHYLENE WATER MAIN
- SEWER MAIN & MANHOLE
- PREFERRED DRIVEWAY LOCATION
- ABOVE GROUND ERGON CABINET

BUILDING ENVELOPES

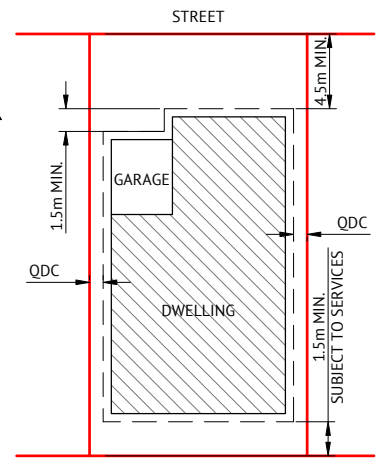
- IN ORDER OF PRECEDENCE, BUILDING ENVELOPE SETBACKS ARE TO COMPLY WITH THE DESIGN CODE SHOWN ON THIS PLAN THEN THE REQUIREMENTS OF THE QUEENSLAND DEVELOPMENT CODE (QDC). THESE SETBACKS MAY VARY TO ACCOMMODATE THE ZONE OF INFLUENCE OF UNDERGROUND SERVICES AS STATED IN COUNCILS POLICY ON BUILDING OVER ADJACENT SEWERS. REFER TO QDC MP 1.2 FOR PROPOSED BUILDING SETBACKS NOT SPECIFIED ON THIS PLAN
- THE OUTERMOST PROJECTION (OP) IS A DISTANCE MEASURED FROM THE EDGE OF THE FASCIA BOARD TO THE PROPERTY BOUNDARY.
- THE WALL SETBACK DISTANCE IS A DISTANCE MEASURED FROM THE FACE OF THE WALL TO THE PROPERTY BOUNDARY. NOTE: EAVE OVER HANG MAY PROJECT UP TO 600mm.

DRIVEWAY ACCESS ENVELOPES

- FOR DRIVEWAY ACCESS ENVELOPES ALLOW 0.5m MINIMUM CLEARANCE TO ALL COUNCIL INFRASTRUCTURE, EXCEPT STORMWATER PITS WHICH REQUIRE 0.6m MINIMUM CLEARANCE, AND SEWERAGE HOUSE CONNECTIONS WHICH REQUIRE 1.2m CLEARANCE.
- ALL DRIVEWAYS REQUIRE A PERMIT FROM COUNCIL PRIOR TO CONSTRUCTION.

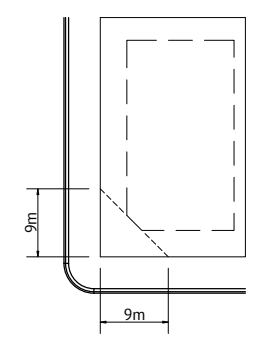


HOUSE CONNECTION DETAIL
NOTE: MINIMUM 1.0m CLEARANCE FROM END OF SEWER HOUSE CONNECTION TO THE NEAREST POINT OF THE STRUCTURE FOUNDATION OR 2.0m CLEARANCE FROM CONNECTION AT MAIN/CENTRE OF MANHOLE.



TYPICAL SETBACK REQUIREMENTS
NTS

- NOTES**
- 60% MAXIMUM SITE COVERAGE.
 - FOR FRONT SETBACK TO GARAGE, MEASURE FROM THE FRONT BOUNDARY TO THE GARAGE OPENING (WALL).
 - ALL OTHER SETBACKS ARE MEASURED FROM THE BOUNDARY TO THE OUTERMOST PROJECTIONS.



STANDARD CORNER BUILDING SETBACK
SCALE 1:500

LIGHT POLES & TELSTRA PITS HAVE NOT BEEN SHOWN

DESIGN CODE - ALL ALLOTMENTS

TYPE	HOUSE, FRONT LOADED
LOT ACCESS	FRONT
LOT DEPTH (MIN)	25m (20m WHERE 15m WIDTH PROPOSED)
LOT WIDTH (MIN)	10.0m
SITE COVERAGE	MAY EXCEED 50% IN RESPONSE TO CODE REQUIREMENTS, BUT NO MORE THAN 60% SITE COVERAGE.
SETBACK FRONT GROUND (MIN) AND UPPER (MIN)	4.5m
SETBACK FRONT GARAGE	6m AND 1.5m BEHIND FRONT OF DWELLING
SETBACK CLASS 1A / PRINCIPAL SIDE GROUND (MIN)	QDC
SETBACK CLASS 1A / PRINCIPAL SIDE UPPER (MIN)	QDC
SETBACK SECONDARY ROAD FRONTAGE (MIN)	3m
SETBACK CLASS 1A / PRINCIPAL REAR (MIN)	1.5m (SEWER LINES AND MANHOLES MAY ENFORCE GREATER SETBACKS)*
CLASS 10A / OUTBUILDING (SHED) WIDTH (MAX)	LESSER OF 50% OF REAR BOUNDARY OR 9m**
CLASS 10A / OUTBUILDING (SHED) DEPTH (MAX)	9m**
CLASS 10A / OUTBUILDING (SHED) REAR SETBACK	0-1.0m**
CLASS 10A / OUTBUILDING (SHED) SIDE SETBACK	ZERO IF LOT 12.5m WIDE. AS PER PRINCIPAL SETBACK IF LOT >12.5m WIDE**
FLOOR HEIGHT CLASS 1A / PRINCIPAL (MIN)	400mm
MAXIMUM STOREYS	AS PER THE APPLICABLE SCHEME
PRIVATE OPEN SPACE (MIN) (MAY BE COVERED)	4mx4m
PARKING (MIN)	TWO (2), ONE OF WHICH MUST BE COVERED

*NOTE: CLEARANCES TO SEWER LINES AND MANHOLES ARE REQUIRED IN ACCORDANCE WITH COUNCIL POLICY.
**NOTE: SETBACKS APPLY TO CLASS 10A / OUTBUILDING (SHED) STRUCTURE WITH MAXIMUM HEIGHT OF 3.5m. WHERE THE STRUCTURE EXCEEDS THIS HEIGHT (OR OTHER MAXIMUM DIMENSIONS), SETBACKS ARE TO DEFAULT TO THE QDC.

FOR CONSTRUCTION

DATE	REV	DESCRIPTION	REC	APP
18/12/2025	C	AMENDED BUILDING SETBACKS	KK	AP
05/12/2025	B	AMENDED BUILDING SETBACKS	KK	AP
01/08/2025	A	ISSUED FOR CONSTRUCTION	KK	AP
29/05/2025	1	ISSUED FOR OPERATIONAL WORKS APPROVAL	KK	AP

TOWNSVILLE OFFICE
84 DENHAM STREET
PO BOX 1110
TOWNSVILLE, QLD 4810
PH: (07) 4772 0666
WEB: www.premise.com.au

DESIGNED
K.KOUZANI

CHECKED
Z.STROGUSZ

PROJECT MANAGER
Z.STROGUSZ

ENGINEERING CERTIFICATION

A.PEASE RPEQ 22556

SCALE

0 10 20 30m

SCALE 1:500 (A1)

ORIGINAL SHEET SIZE A1

CLIENT
ELEMENTS RASMUSSEN PTY LIMITED

PROJECT
RIVERSTONE - PRECINCT 1 - STAGE 3

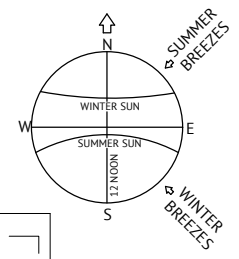
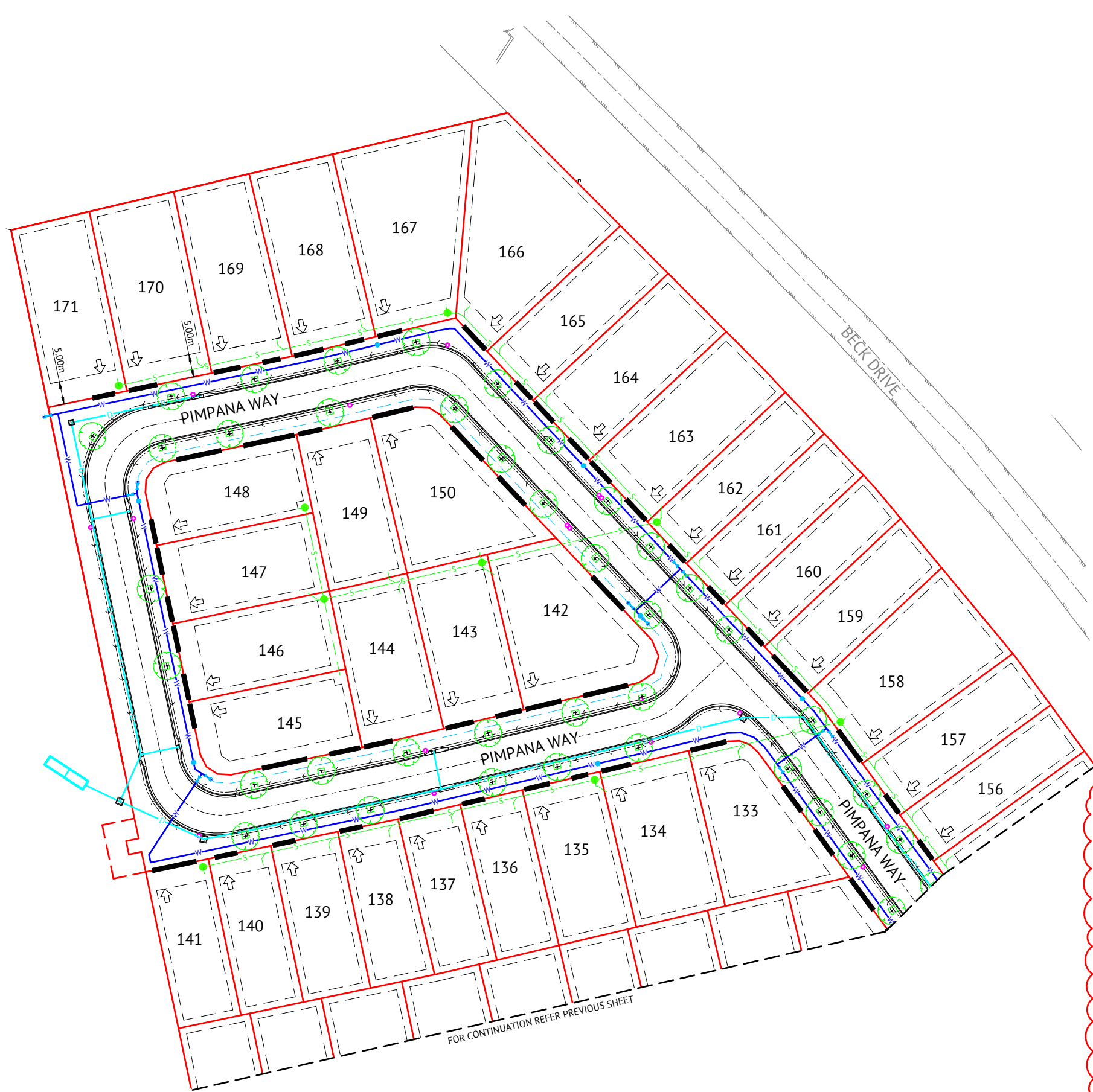
LOCATION
SOUTH BECK DRIVE, RASMUSSEN

SHEET TITLE
BUILDING ENVELOPE & DRIVEWAY ACCESS PLAN - SHEET 1 OF 2

JOB CODE
P001814

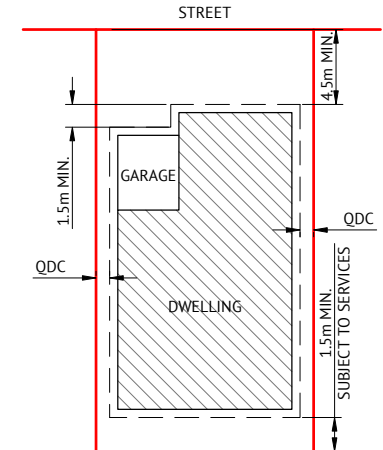
SHEET NUMBER
C030

REV
C



- LEGEND**
- PORTICO BUILDING ENVELOPE
 - HABITABLE ROOM BUILDING ENVELOPE
 - GARAGE BUILDING ENVELOPE
 - ALLOWABLE DRIVEWAY ACCESS
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STANDARD CORNER BUILDING SETBACK
SCALE 1:500



TYPICAL SETBACK REQUIREMENTS
NTS

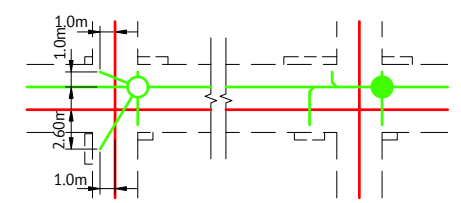
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C

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DESIGNED
K.KOUZANI
CHECKED
Z.STROGUSZ
PROJECT MANAGER
Z.STROGUSZ
ENGINEERING CERTIFICATION
A.PEASE RPEQ 22556

SCALE
0 10 20 30m
SCALE 1:500 (A1)
ORIGINAL SHEET SIZE A1

CLIENT	ELEMENTS RASMUSSEN PTY LIMITED		JOB CODE	P001814	
PROJECT	RIVERSTONE - PRECINCT 1 - STAGE 3		SHEET NUMBER	C031	REV
LOCATION	SOUTH BECK DRIVE, RASMUSSEN				
SHEET TITLE	BUILDING ENVELOPE & DRIVEWAY ACCESS PLAN - SHEET 2 OF 2				