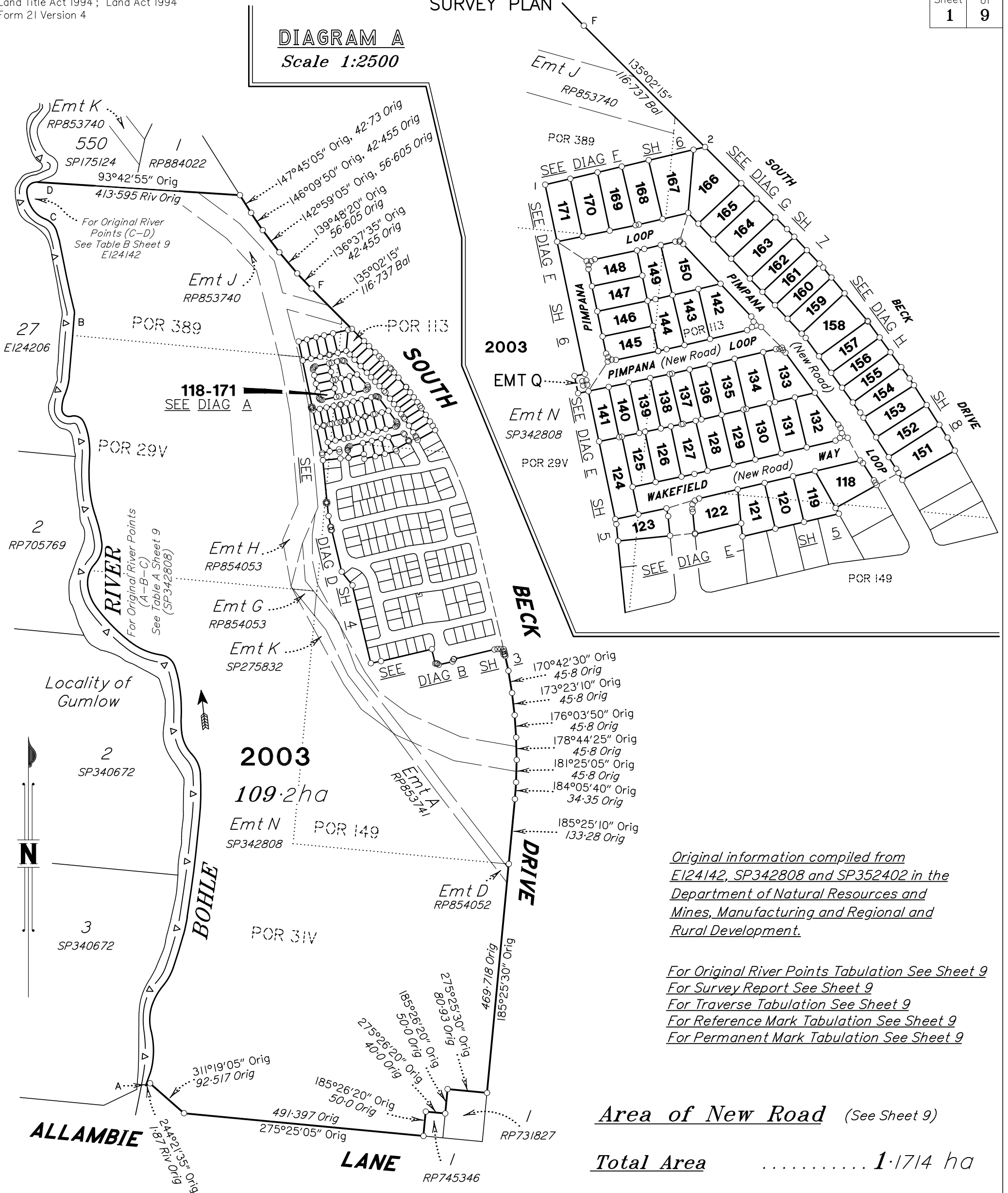


**SURVEY PLAN**

**DIAGRAM A**  
Scale 1:2500



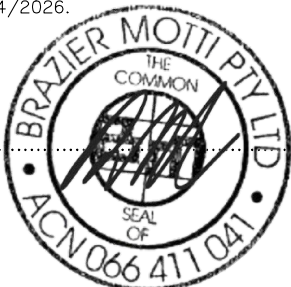
*Original information compiled from E124142, SP342808 and SP352402 in the Department of Natural Resources and Mines, Manufacturing and Regional and Rural Development.*

*For Original River Points Tabulation See Sheet 9  
For Survey Report See Sheet 9  
For Traverse Tabulation See Sheet 9  
For Reference Mark Tabulation See Sheet 9  
For Permanent Mark Tabulation See Sheet 9*

**Area of New Road** (See Sheet 9)

**Total Area** ..... 1.1714 ha

BRAZIER MOTTI PTY LTD (ACN 066 411 041) hereby certify that the land comprised in this plan was surveyed by the corporation, by Brent Graham CAMPBELL, Surveying Associate, for whose work the corporation accepts responsibility, under the supervision of Geoffrey Edwin OSBALDISTON, Cadastral Surveyor, and that the plan is accurate, that the said survey was performed in accordance with the Survey and Mapping Infrastructure Act 2003 and Surveyors Act 2003 and associated Regulations and Standards and that the said survey was completed on 10/04/2026.



Director

Date 01/05/2026

0m 375m 750m 1125m  
0 50mm 100mm 150mm State copyright reserved.

**Plan of Lots 118-171 & 2003  
and Easement Q in Lot 2003**

*Cancelling Lot 2003 on SP352402*

LOCAL TOWNSVILLE CITY  
GOVERNMENT: COUNCIL

LOCALITY: RASMUSSEN

Meridian: MGA (Zone 55) vide SP342808

Survey Records: No

Scale: 1:7500

Format: STANDARD



**SP358936**

**WARNING : Folded or Mutilated Plans will not be accepted.  
Plans may be rolled.  
Information may not be placed in the outer margins.**

(Dealing No.)

4. Lodged by

(Include address, phone number, email, reference, and Lodger Code)

I. Existing		Created		
Title Reference	Description	New Lots	Road	Secondary Interests
51398465	Lot 2003 on SP352402	118-171 & 2003	—	Emt Q

**MORTGAGE ALLOCATIONS**

Mortgage	Lots Fully Encumbered	Lots Partially Encumbered
719569241	118-171 & 2003	—

**ENCUMBRANCE EASEMENT ALLOCATIONS**

Easement	Lots to be Encumbered
601382792 (Emt D on RP854052)	2003
601383636 (Emts G & H on RP854053)	2003
601443632 (Emt J on RP853740)	2003
601086955 (Emt A on RP853741)	2003
716306736 (Emt K on SP275832)	2003
723753718 (Emt M on SP342808)	2003
723753719 (Emt N on SP342808)	2003
724435354 (Emt P on SP352402)	2003


2003 168 & 169 167 170 & 171 125, 126, 138, 139, 144, 145, 149 & 150 127-137, 142, 143, 151-166 140, 141, 146-148 123 & 124 118-122	Pors 149, 31V, 113, 29V & 389 Por 389 Pors 389 & 113 Pors 389 & 29V Pors 113 & 29V Por 113 Por 29V Pors 149 & 29V Pors 113 & 149
Lots	Orig

2. Orig Grant Allocation :

3. References :

Dept File :  
Local Govt :  
Surveyor : 40173/017-03 - 40173\_145A.dwg - WCHO - 11/2025 - V0

5. Passed & Endorsed :

By: BRAZIER MOTTI PTY LTD  
Date: 01/05/2026  
Signed:   
Designation: Cadastral Surveyor

**6. Building Format Plans only.**

I certify that:  
\* As far as it is practical to determine, no part of the building shown on this plan encroaches onto adjoining lots or road;  
\* Part of the building shown on this plan encroaches onto adjoining \* lots and road

.....  
Cadastral Surveyor/Director\* Date  
\*delete words not required

**7. Lodgement Fees :**

Survey Deposit \$ .....  
Lodgement \$ .....  
.....New Titles \$ .....  
Photocopy \$ .....  
Postage \$ .....  
TOTAL \$ .....

8. Insert Plan Number

**SP358936**

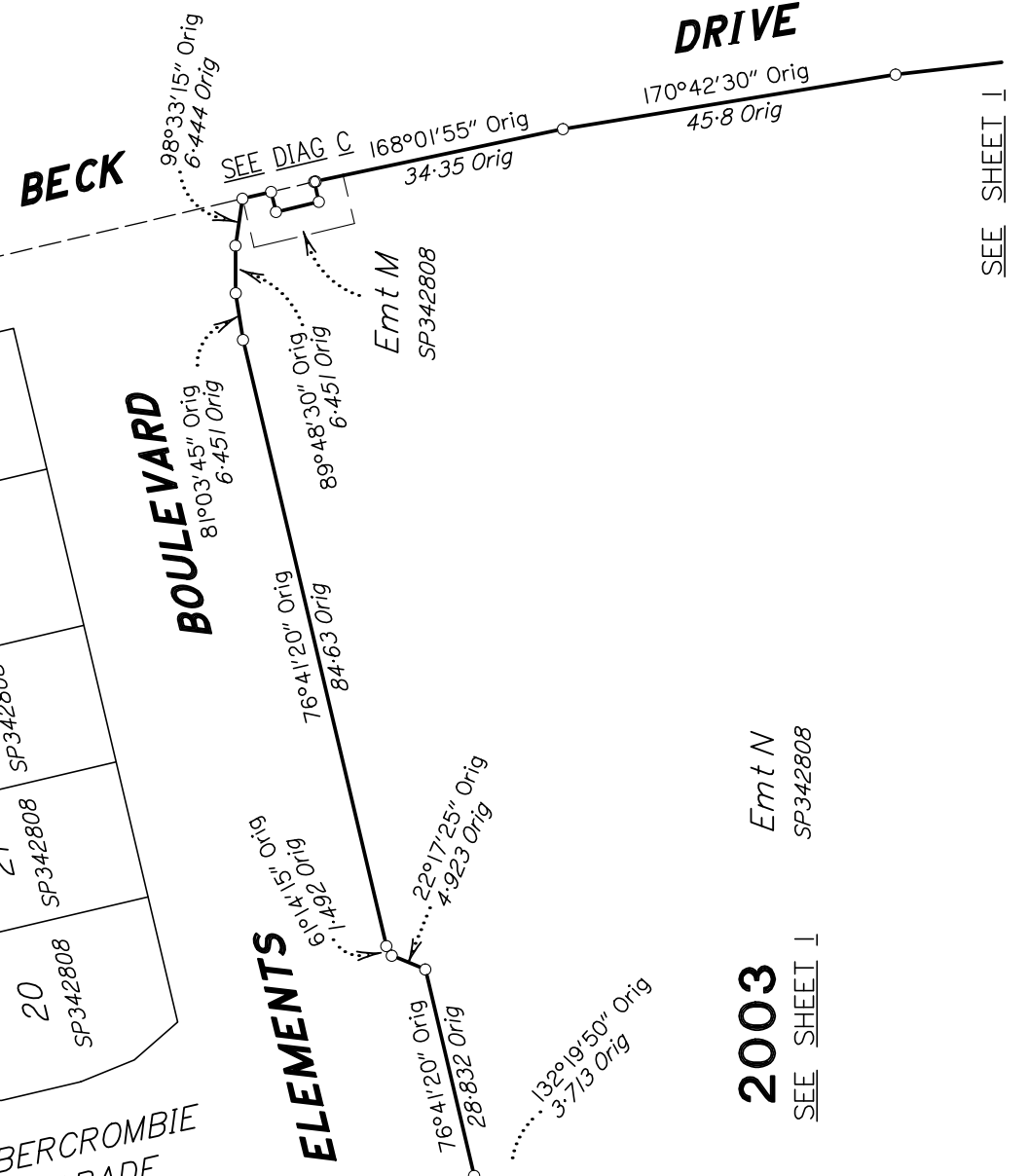
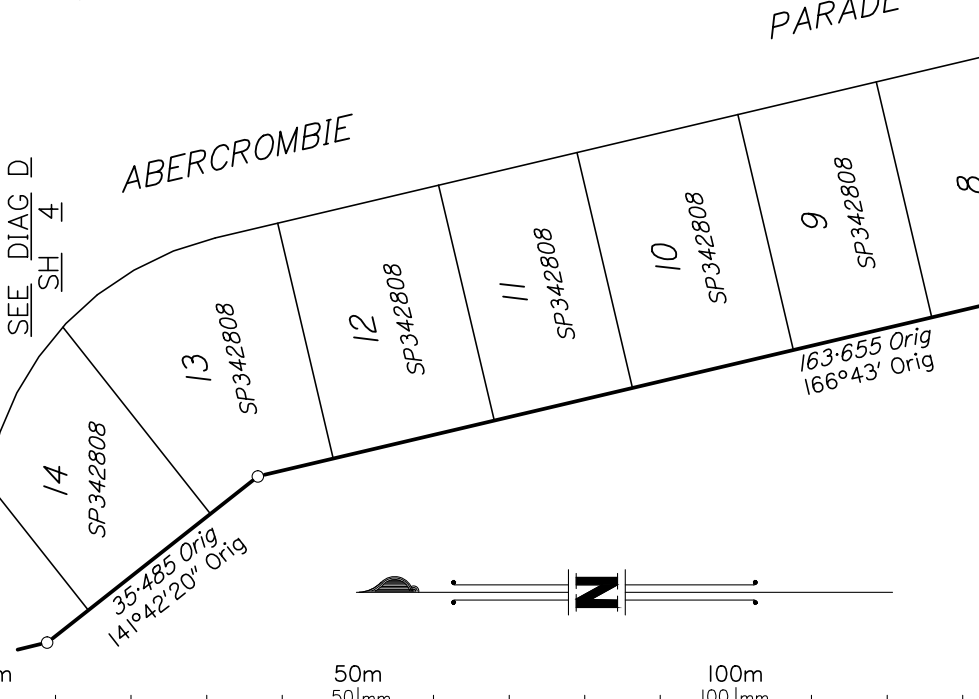
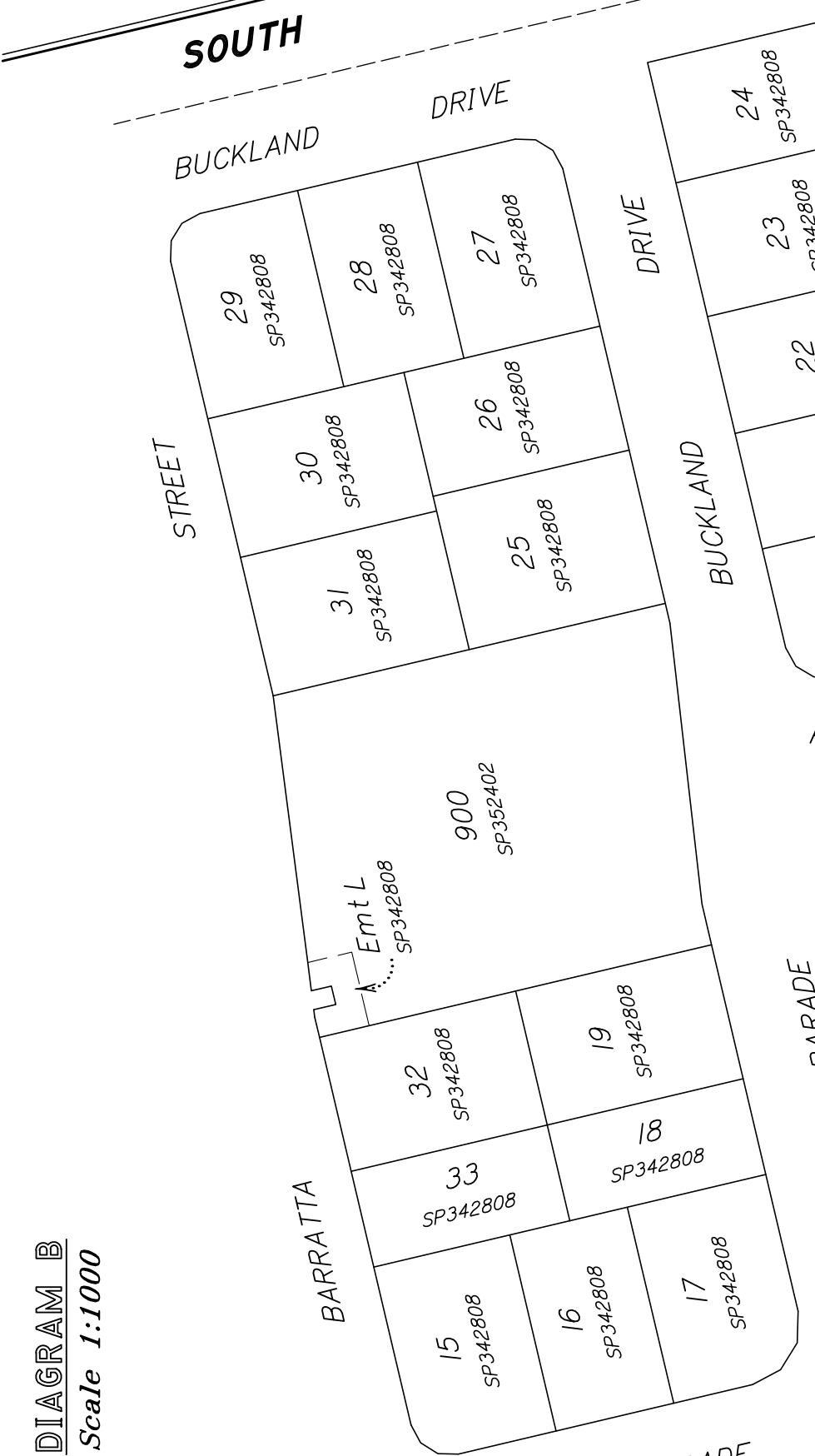
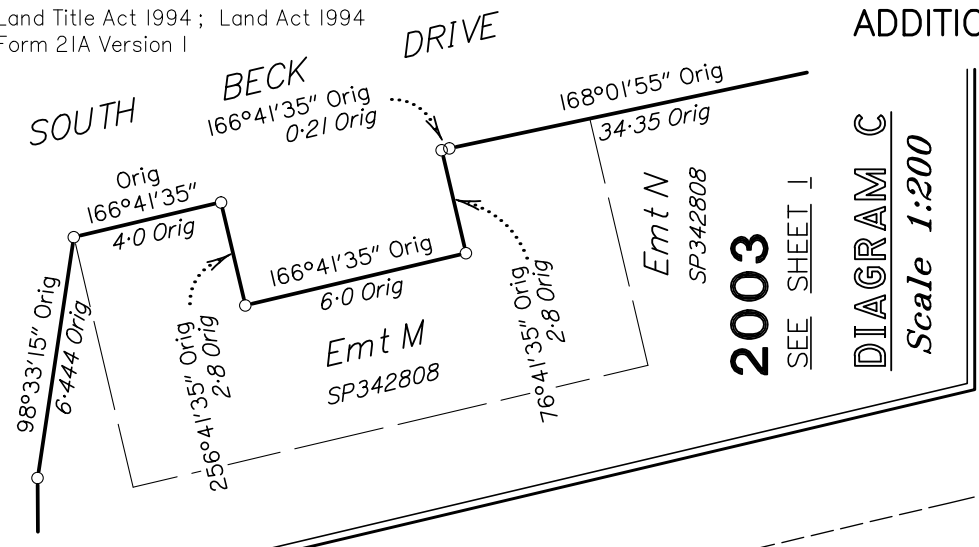


DIAGRAM B  
Scale 1:1000

SEE DIAG D  
SH 4

SEE DIAG C  
SH 4



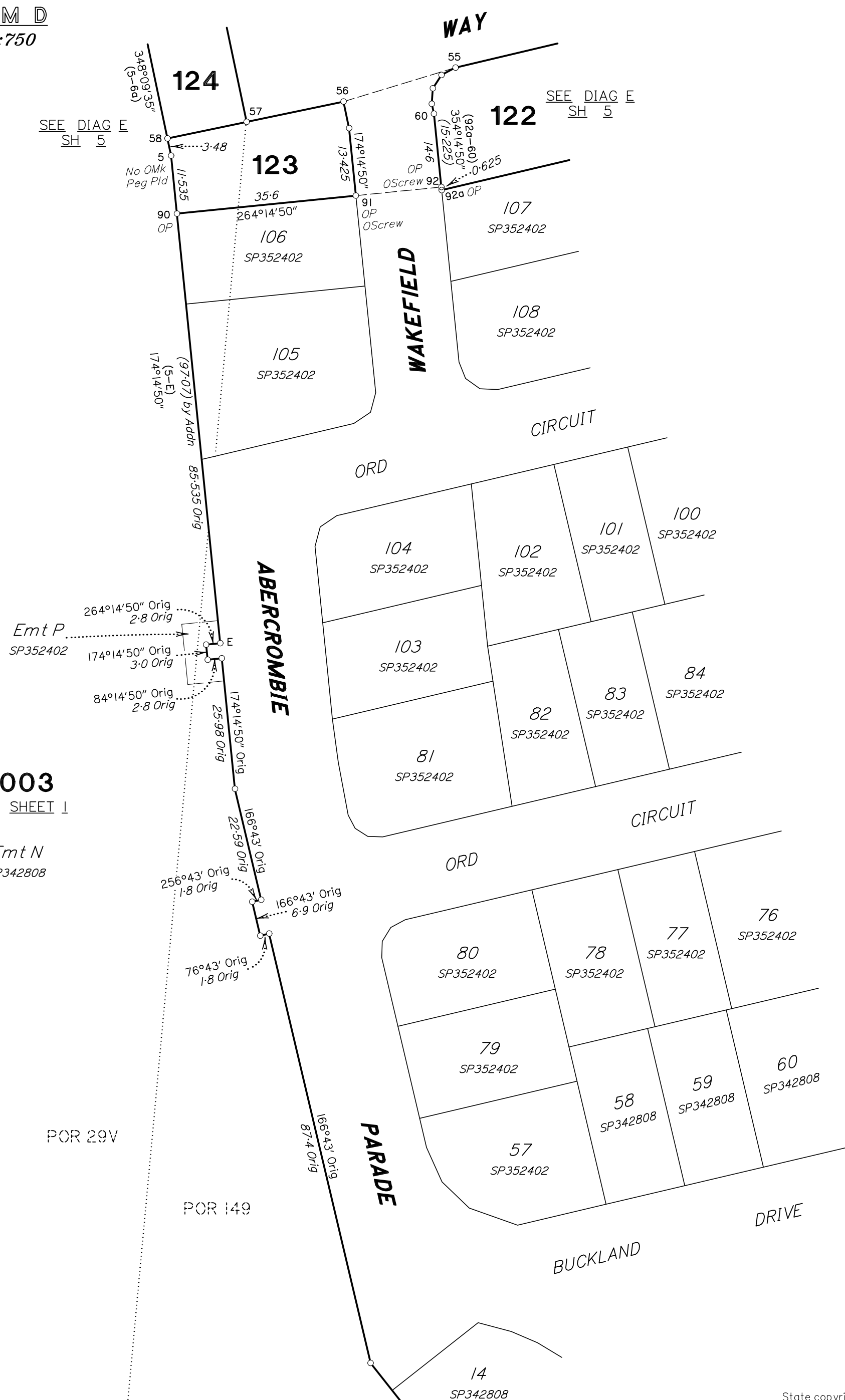
2003  
SEE SHEET I  
Emt N  
SP342808

2003  
SEE SHEET I  
Emt N  
SP342808

Insert Plan Number  
**SP358936**

State copyright reserved.

**DIAGRAM D**  
Scale 1:750



**2003**  
SEE SHEET 1

*Emt N*  
SP342808

*Emt P*  
SP352402

SEE DIAG B  
SH 3



State copyright reserved.

Insert Plan Number **SP358936**



DIAGRAM E  
Scale 1:600

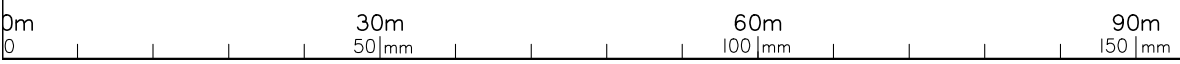
Emt Q  
78 m<sup>2</sup>

Emt H  
RP854053

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SEE SHEET J

State copyright reserved.

Insert Plan Number  
**SP358936**



SEE DIAG D SH 4

POR 149

POR 29V OP

Emt N  
SP342808

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SP352402

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SP352402

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SP352402

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SP352402

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DIAGRAM F

Scale 1:600

SEE DIAG G  
SH 7

Emt J  
RP853740

SOUTH  
BECK  
DRIVE

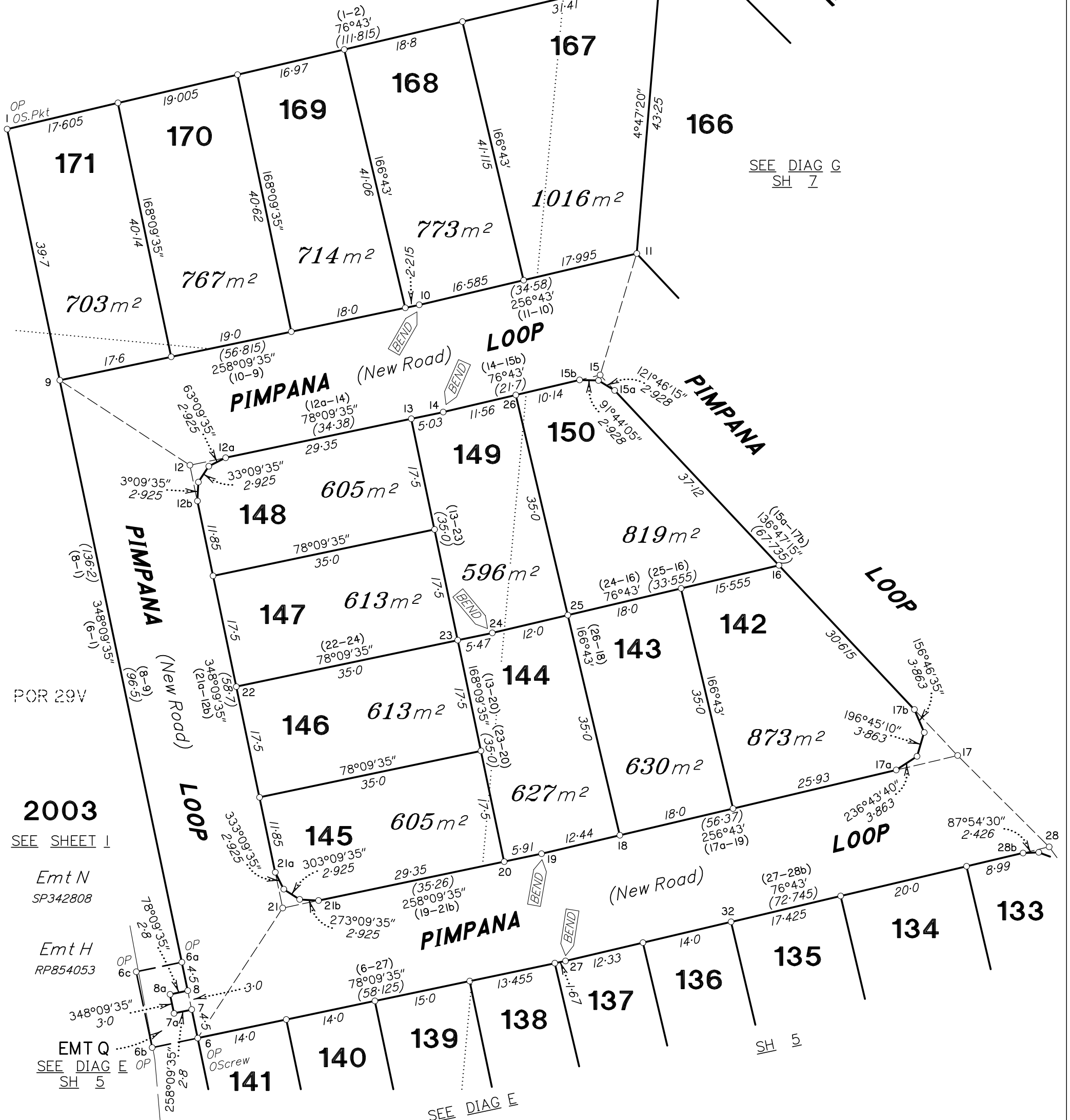


2003 Emt N  
SEE SHEET 1 SP342808

POR 389

POR 113

2 OP  
8-025



SEE DIAG G  
SH 7

POR 29V

2003  
SEE SHEET 1

Emt N  
SP342808

Emt H  
RP854053

EMT Q  
SEE DIAG E  
SH 5

PIMPANA

(New Road)

SEE DIAG E

State copyright reserved.



Insert Plan Number  
**SP358936**

DIAGRAM G

Scale 1:600

SOUTH

SEE SHEET I

Emt J  
RP853740

2003 Emt N  
SEE SHEET I SP342808

POR 389

POR 113

BECK

167

166

1062m<sup>2</sup>

165

598m<sup>2</sup>

164

736m<sup>2</sup>

163

DRIVE

15b

15

15a

150

PIMPANA

766m<sup>2</sup>

162

161

(15a-17b)  
136°47'15"  
(67-139)

(116-845)  
316°47'15"  
(63-11)

519m<sup>2</sup>

160

SEE DIAG F  
SH 6

142

519m<sup>2</sup>

160

159

PIMPANA LOOP

LOOP

158

133

Insert  
Plan  
Number

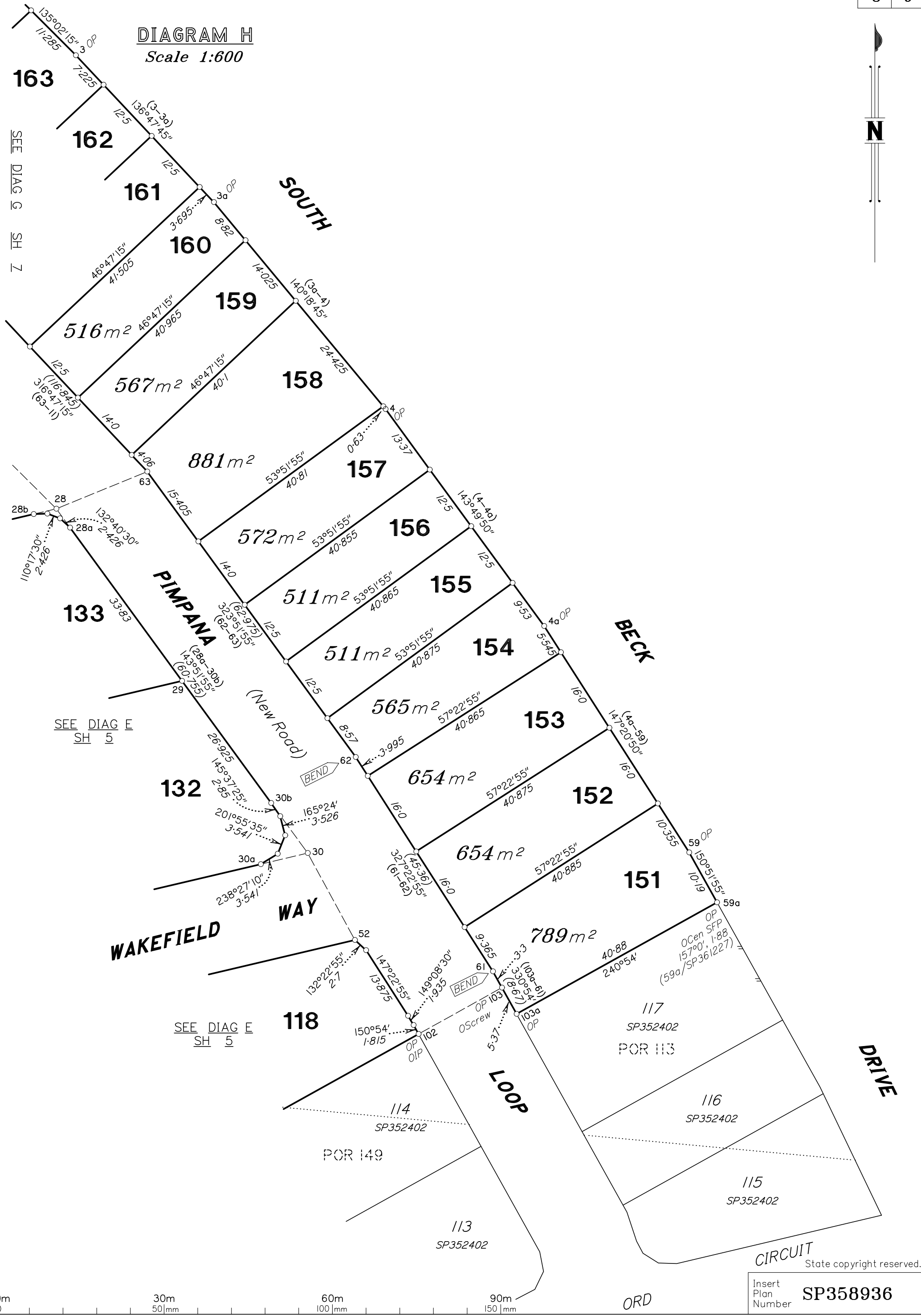
SP358936

State copyright reserved.



DIAGRAM H

Scale 1:600



ORD  
CIRCUIT State copyright reserved.  
Insert Plan Number **SP358936**

TABLE A

ORIG RIVER POINTS	
BEARING	DISTANCE
9°05'	36.1
0°24'	126.635
29°45'	85.78
15°19'45"	108.625
8°06'20"	94.575
6°09'	108.875
1°11'45"	88.815
335°55'50"	93.7
358°31'30"	71.485
348°56'30"	66.37
298°12'	102.625
322°58'40"	144.635
18°07'45"	92.605
346°47'45"	105.185
358°10'	116.255
341°36'	28.27
300°27'20"	52.165
12°39'15"	69.28
4°46'20"	83.84
4°46'20"	43.37
348°18'	80.705
348°41'30"	71.45
343°47'	20.605

TRAVERSES ETC

LINE	BEARING	DISTANCE
6-21	33°09'35"	24.042
7-8	348°09'35"	3.0
9-12	123°09'35"	24.042
11-15	196°45'10"	19.637
12-12a	78°09'35"	5.65
12-12b	168°09'35"	5.65
15-15a	136°47'15"	3.267
15-15b	256°43'	3.267
17-17a	256°43'	9.772
17-17b	316°47'15"	9.772
17-28	134°56'	20.0
21-21a	348°09'35"	5.65
21-21b	78°09'35"	5.65
28-28a	143°51'55"	4.149
28-28b	256°43'	4.149
28-63	67°44'15"	17.511
30-30a	256°43'	8.591
30-30b	323°51'55"	11.055
30-52	151°31'	17.616
55-56	253°04'50"	23.174
91-92	84°14'50"	17.0
102-103	60°54'	17.0

REFERENCE MARKS

STN	TO	ORIGIN	BEARING	DIST
1	I.Pin		295°54'30"	2.62
1	OS.Pkt (flush)	7/SP361227	129°33'40"	16.725
2	OIP	2/SP361227	16°08'40"	13.925
6	OScrew in Kb	6/SP361227	35°25'	12.678
9	Screw in Kb		128°19'	12.755
11	Screw in Kb		193°57'	6.79
12	I.Pin		351°43'	1.005
15	I.Pin		354°07'	2.44
17	I.Pin		247°33'	3.965
19	Screw in Kb		103°48'	8.822
21	I.Pin		238°50'	1.02
27	Screw in Kb		341°30'	4.325
28	Screw in stormwater M/H		341°26'	4.65
30	Screw in stormwater M/H		223°54'30"	4.395
33	Screw in Kb		229°16'30"	10.725
34	Screw in Kb		157°46'	4.71
52	I.Pin		18°35'	3.595
55	Screw in Kb		272°58'	7.248
63	Screw in Kb		295°04'30"	11.707
91	OScrew in Kb	91/SP352402	110°47'	4.82
92	OScrew in Kb	92/SP352402	243°35'	4.61
102	OIP	102/SP352402	96°34'	2.105
103	OScrew in Kb	103/SP352402	179°59'	10.395

TABLE B

ORIG RIVER POINTS	
BEARING	DISTANCE
314°54'20"	76.045
355°14'35"	40.285
68°20'45"	20.154

PERMANENT MARKS

PM	ORIGIN	BEARING	DIST	NO	TYPE
6-PM		342°10'	16.49	215000	Mini Mark

**Area of New Road**

*PIMPANA LOOP 1*

(9-10-11-15-15a-15b-14-12a-12b-21a-21b-19-17a-17b-17-28-28a-28b-27-6-7-7a-8a-8-9) . . . . . **4921 m<sup>2</sup>**

*PIMPANA LOOP 2*

(11-63-62-61-103-102-52-30-30b-28a-28-17-17b-15a-15-11) . . . . . **3756 m<sup>2</sup>**

*WAKEFIELD WAY*

(34-33-30a-30b-30-52-55-60-92-91-56-57-34) . . **3037 m<sup>2</sup>**

**Total Area . . . . . 1.1714 ha**

**SURVEY REPORT**

**SNPOS where the feature exists in practically same location as FNPOS (section 113, compiled)**

Section A-B-C

A first new plan of survey SP342808 was registered for the subject land on 16/12/2024 under s.108 of the SMI Act. On the first new plan of survey, the lower top of the bank of the Bohle River was adopted as the boundary. Site inspection has confirmed that the feature is to the greatest practicable extent in the same location. Therefore, this plan being a subsequent plan of survey, the boundary has been compiled from SP342808.

**SNPOS when FNPOS compiled the water boundary under s.110 (section 113, compiled)**

Section C-D

A first new plan of survey SP342808 was registered for the subject land on 16/12/2024 under s.110 of the SMI Act. SP342808 verified that the bank of the Bohle River was subject to sudden change by earthworks and therefore the location at law of the boundary does not change and is compiled from the source information of the feature prior to the sudden change under s.110. The location of Bohle River is therefore compiled from the original plan E124142.

**Datum**

Meridian is MGA (Zone 55) vide SP342808, which confirmed the meridian by CORS (AUSPOS) observations and a meridian table, and followed by subsequent plan SP352402.

Connection to datum also follows SP342808, which connected by CORS (AUSPOS) observations, and also followed by subsequent plan SP352402.

**Boundary Reinstatement**

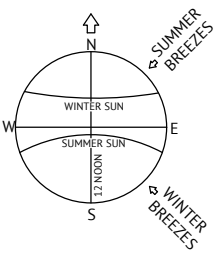
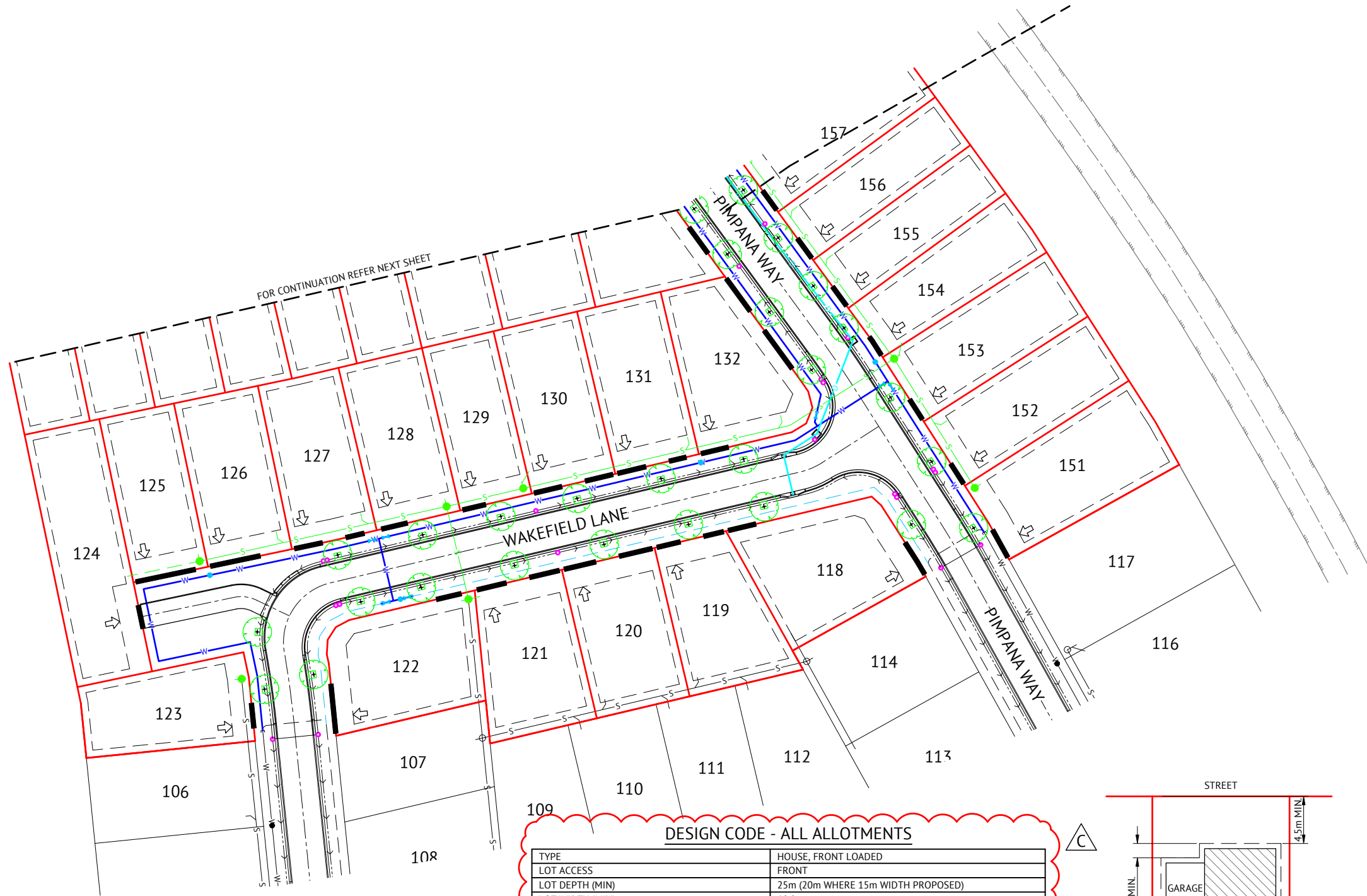
Line 1-2 was reinstated from the OP & OSPkt at stn 1 and the OP & OIP at stn 2.

Lines 2-3-3a-4-4a-59-59a were reinstated from the OP & OIP at stn 2 and the OPs at stns 3, 3a, 4, 4a, 59 & 59a.

Lines 59a-103a-103-102-98-97-96-96a-92a-92-91-90 were reinstated from OPs at stns 59a, 103a, 103, 102, 98, 97, 96, 96a, 92a, 92, 91 & 90, the OIP at stn 102, and the OScrews at stns 103, 92 & 91.

Lines 90-5-6-6b-6c-6a-1 were reinstated from OPs at stns 90, 6, 6b, 6c, 6a & 1, the OScrew at stn 6, and the OSPkt at stn 1.

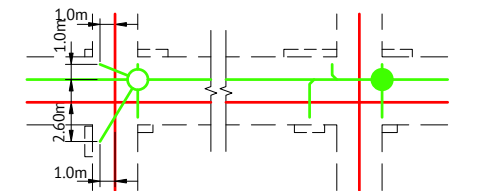
All original boundary dimensions agree with deed and SP361227.



- ### LEGEND
- PORTICO BUILDING ENVELOPE
  - HABITABLE ROOM BUILDING ENVELOPE
  - GARAGE BUILDING ENVELOPE
  - ALLOWABLE DRIVEWAY ACCESS
  - STORMWATER DRAINAGE LINE
  - SUBSOIL DRAIN & CLEANOUT POINT
  - WATER MAIN, FIRE HYDRANT & VALVE
  - POLYETHYLENE WATER MAIN
  - SEWER MAIN & MANHOLE
  - PREFERRED DRIVEWAY LOCATION
  - ABOVE GROUND ERGON CABINET

- ### BUILDING ENVELOPES
- IN ORDER OF PRECEDENCE, BUILDING ENVELOPE SETBACKS ARE TO COMPLY WITH THE DESIGN CODE SHOWN ON THIS PLAN THEN THE REQUIREMENTS OF THE QUEENSLAND DEVELOPMENT CODE (QDC). THESE SETBACKS MAY VARY TO ACCOMMODATE THE ZONE OF INFLUENCE OF UNDERGROUND SERVICES AS REFERRED IN COUNCILS POLICY ON BUILDING OVER ADJACENT SEWERS. STATE TO QDC MP 1.2 FOR PROPOSED BUILDING SETBACKS NOT SPECIFIED ON THIS PLAN
  - THE OUTERMOST PROJECTION (OP) IS A DISTANCE MEASURED FROM THE EDGE OF THE FASCIA BOARD TO THE PROPERTY BOUNDARY.
  - THE WALL SETBACK DISTANCE IS A DISTANCE MEASURED FROM THE FACE OF THE WALL TO THE PROPERTY BOUNDARY. NOTE: EAVE OVER HANG MAY PROJECT UP TO 600mm.

- ### DRIVEWAY ACCESS ENVELOPES
- FOR DRIVEWAY ACCESS ENVELOPES ALLOW 0.5m MINIMUM CLEARANCE TO ALL COUNCIL INFRASTRUCTURE, EXCEPT STORMWATER PITS WHICH REQUIRE 0.6m MINIMUM CLEARANCE, AND SEWERAGE HOUSE CONNECTIONS WHICH REQUIRE 1.2m CLEARANCE.
  - ALL DRIVEWAYS REQUIRE A PERMIT FROM COUNCIL PRIOR TO CONSTRUCTION.

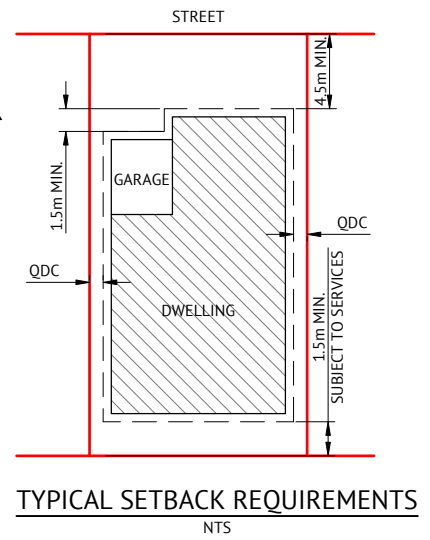


**HOUSE CONNECTION DETAIL**  
NOTE: MINIMUM 1.0m CLEARANCE FROM END OF SEWER HOUSE CONNECTION TO THE NEAREST POINT OF THE STRUCTURE FOUNDATION OR 2.0m CLEARANCE FROM CONNECTION AT MAIN/CENTRE OF MANHOLE.

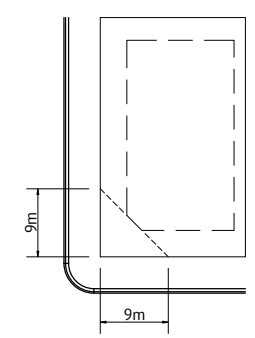
**Townsville City Council**  
**Approved Subject to Conditions**  
  
**CAR26/0005**  
**27/01/2026**

DESIGN CODE - ALL ALLOTMENTS	
TYPE	HOUSE, FRONT LOADED
LOT ACCESS	FRONT
LOT DEPTH (MIN)	25m (20m WHERE 15m WIDTH PROPOSED)
LOT WIDTH (MIN)	10.0m
SITE COVERAGE	MAY EXCEED 50% IN RESPONSE TO CODE REQUIREMENTS, BUT NO MORE THAN 60% SITE COVERAGE.
SETBACK FRONT GROUND (MIN) AND UPPER (MIN)	4.5m
SETBACK FRONT GARAGE	6m AND 1.5m BEHIND FRONT OF DWELLING
SETBACK CLASS 1A / PRINCIPAL SIDE GROUND (MIN)	QDC
SETBACK CLASS 1A / PRINCIPAL SIDE UPPER (MIN)	QDC
SETBACK SECONDARY ROAD FRONTAGE (MIN)	3m
SETBACK CLASS 1A / PRINCIPAL REAR (MIN)	1.5m (SEWER LINES AND MANHOLES MAY ENFORCE GREATER SETBACKS)*
CLASS 10A / OUTBUILDING (SHED) WIDTH (MAX)	LESSER OF 50% OF REAR BOUNDARY OR 9m**
CLASS 10A / OUTBUILDING (SHED) DEPTH (MAX)	9m**
CLASS 10A / OUTBUILDING (SHED) REAR SETBACK	0-1.0m**
CLASS 10A / OUTBUILDING (SHED) SIDE SETBACK	ZERO IF LOT 12.5m WIDE. AS PER PRINCIPAL SETBACK IF LOT >12.5m WIDE**
FLOOR HEIGHT CLASS 1A / PRINCIPAL (MIN)	400mm
MAXIMUM STOREYS	AS PER THE APPLICABLE SCHEME
PRIVATE OPEN SPACE (MIN) (MAY BE COVERED)	4mx4m
PARKING (MIN)	TWO (2), ONE OF WHICH MUST BE COVERED

\*NOTE: CLEARANCES TO SEWER LINES AND MANHOLES ARE REQUIRED IN ACCORDANCE WITH COUNCIL POLICY.  
\*\*NOTE: SETBACKS APPLY TO CLASS 10A / OUTBUILDING (SHED) STRUCTURE WITH MAXIMUM HEIGHT OF 3.5m. WHERE THE STRUCTURE EXCEEDS THIS HEIGHT (OR OTHER MAXIMUM DIMENSIONS), SETBACKS ARE TO DEFAULT TO THE QDC.



- ### NOTES
- 60% MAXIMUM SITE COVERAGE.
  - FOR FRONT SETBACK TO GARAGE, MEASURE FROM THE FRONT BOUNDARY TO THE GARAGE OPENING (WALL).
  - ALL OTHER SETBACKS ARE MEASURED FROM THE BOUNDARY TO THE OUTERMOST PROJECTIONS.



**STANDARD CORNER BUILDING SETBACK**  
SCALE 1:500

LIGHT POLES & TELSTRA PITS HAVE NOT BEEN SHOWN

FOR CONSTRUCTION				
DATE	REV	DESCRIPTION	REC	APP
18/12/2025	C	AMENDED BUILDING SETBACKS	KK	AP
05/12/2025	B	AMENDED BUILDING SETBACKS	KK	AP
01/08/2025	A	ISSUED FOR CONSTRUCTION	KK	AP
29/05/2025	1	ISSUED FOR OPERATIONAL WORKS APPROVAL	KK	AP

**TOWNSVILLE OFFICE**  
84 DENHAM STREET  
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TOWNSVILLE, QLD 4810  
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WEB: www.premise.com.au

DESIGNED  
**K.KOUZANI**  
CHECKED  
**Z.STROGUSZ**  
PROJECT MANAGER  
**Z.STROGUSZ**  
ENGINEERING CERTIFICATION  
  
A.PEASE RPEQ 22556

SCALE  
0 10 20 30m  
SCALE 1:500 (A1)  
ORIGINAL SHEET SIZE A1

CLIENT  
**ELEMENTS RASMUSSEN PTY LIMITED**

PROJECT  
**RIVERSTONE - PRECINCT 1 - STAGE 3**

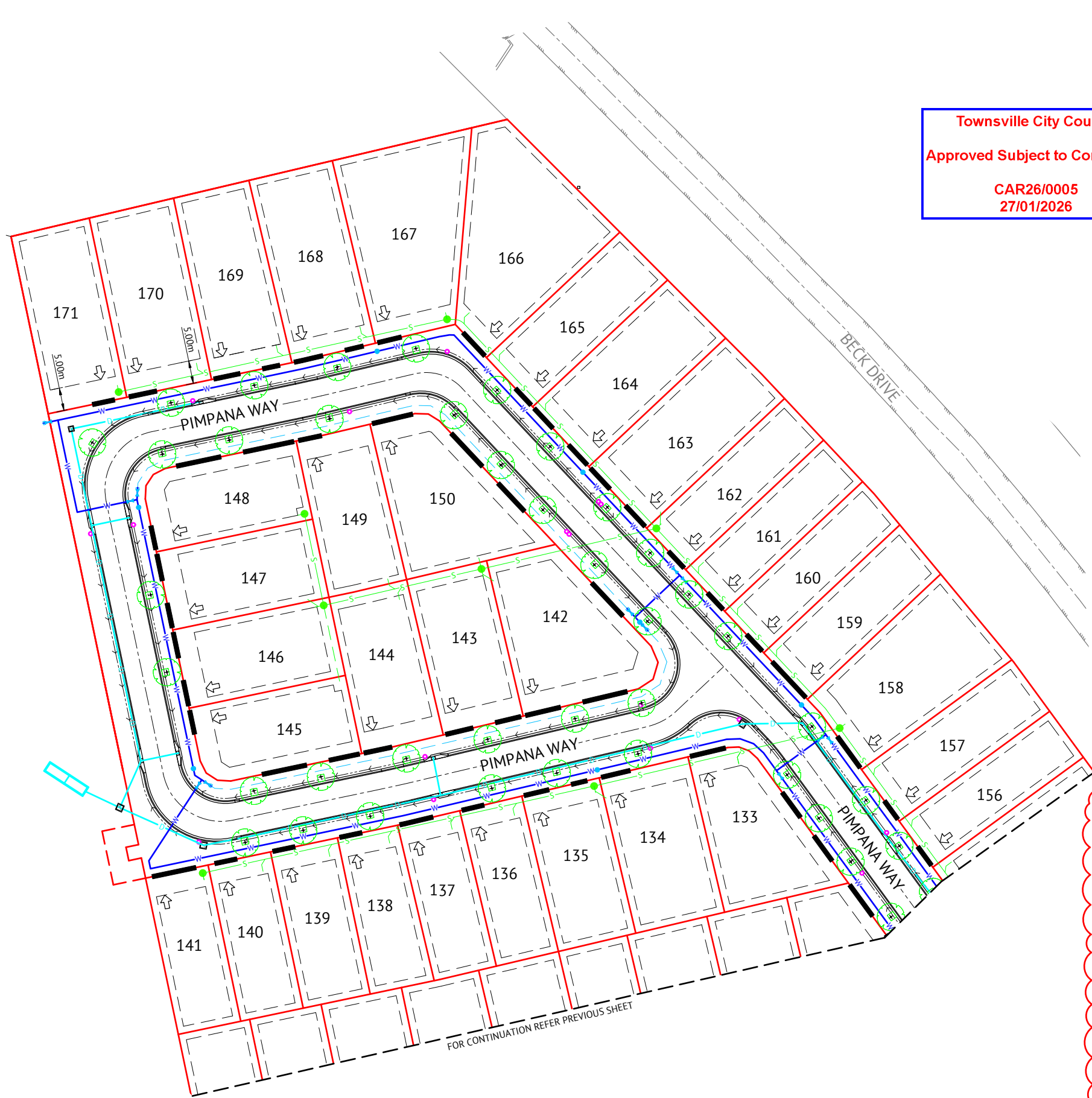
LOCATION  
**SOUTH BECK DRIVE, RASMUSSEN**

SHEET TITLE  
**BUILDING ENVELOPE & DRIVEWAY ACCESS PLAN - SHEET 1 OF 2**

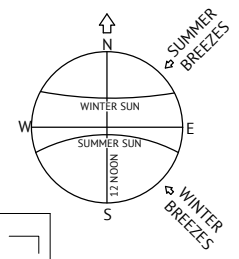
JOB CODE  
**P001814**

SHEET NUMBER  
**C030**

REV  
**C**



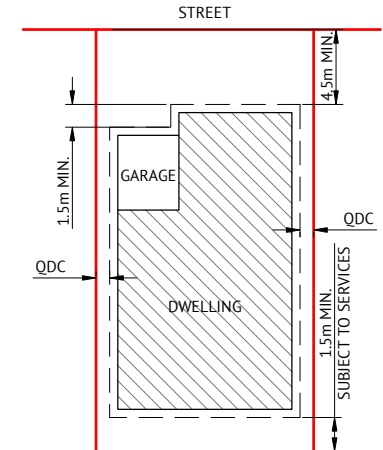
**Townsville City Council**  
**Approved Subject to Conditions**  
**CAR26/0005**  
**27/01/2026**



**LEGEND**

- PORTICO BUILDING ENVELOPE
- HABITABLE ROOM BUILDING ENVELOPE
- GARAGE BUILDING ENVELOPE
- ALLOWABLE DRIVEWAY ACCESS
- STORMWATER DRAINAGE LINE
- SUBSOIL DRAIN & CLEANOUT POINT
- WATER MAIN, FIRE HYDRANT & VALVE
- POLYETHYLENE WATER MAIN
- SEWER MAIN & MANHOLE
- ⇨ PREFERRED DRIVEWAY LOCATION
- [E] ABOVE GROUND ERGON CABINET

**STANDARD CORNER BUILDING SETBACK**  
SCALE 1:500



**TYPICAL SETBACK REQUIREMENTS**  
NTS

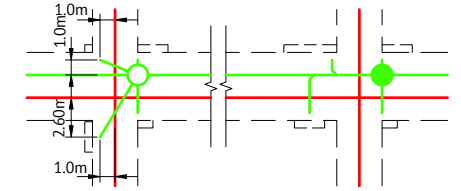
- NOTES**
- 60% MAXIMUM SITE COVERAGE.
  - FOR FRONT SETBACK TO GARAGE, MEASURE FROM THE FRONT BOUNDARY TO THE GARAGE OPENING (WALL).
  - ALL OTHER SETBACKS ARE MEASURED FROM THE BOUNDARY TO THE OUTERMOST PROJECTIONS.

**BUILDING ENVELOPES**

- IN ORDER OF PRECEDENCE, BUILDING ENVELOPE SETBACKS ARE TO COMPLY WITH THE DESIGN CODE SHOWN ON THIS PLAN THEN THE REQUIREMENTS OF THE QUEENSLAND DEVELOPMENT CODE (QDC). THESE SETBACKS MAY VARY TO ACCOMMODATE THE ZONE OF INFLUENCE OF UNDERGROUND SERVICES AS STATED IN COUNCILS POLICY ON BUILDING OVER ADJACENT SEWERS. REFER TO QDC MP 1.2 FOR PROPOSED BUILDING SETBACKS NOT SPECIFIED ON THIS PLAN
- THE OUTERMOST PROJECTION (OP) IS A DISTANCE MEASURED FROM THE EDGE OF THE FASCIA BOARD TO THE PROPERTY BOUNDARY.
- THE WALL SETBACK DISTANCE IS A DISTANCE MEASURED FROM THE FACE OF THE WALL TO THE PROPERTY BOUNDARY. NOTE: EAVE OVER HANG MAY PROJECT UP TO 600mm.

**DRIVEWAY ACCESS ENVELOPES**

- FOR DRIVEWAY ACCESS ENVELOPES ALLOW 0.5m MINIMUM CLEARANCE TO ALL COUNCIL INFRASTRUCTURE, EXCEPT STORMWATER PITS WHICH REQUIRE 0.6m MINIMUM CLEARANCE, AND SEWERAGE HOUSE CONNECTIONS WHICH REQUIRE 1.2m CLEARANCE.
- ALL DRIVEWAYS REQUIRE A PERMIT FROM COUNCIL PRIOR TO CONSTRUCTION.



**HOUSE CONNECTION DETAIL**  
NOTE: MINIMUM 1.0m CLEARANCE FROM END OF SEWER HOUSE CONNECTION TO THE NEAREST POINT OF THE STRUCTURE FOUNDATION OR 2.0m CLEARANCE FROM CONNECTION AT MAIN/CENTRE OF MANHOLE.

**DESIGN CODE - ALL ALLOTMENTS**

TYPE	HOUSE, FRONT LOADED
LOT ACCESS	FRONT
LOT DEPTH (MIN)	25m (20m WHERE 15m WIDTH PROPOSED)
LOT WIDTH (MIN)	10.0m
SITE COVERAGE	MAY EXCEED 50% IN RESPONSE TO CODE REQUIREMENTS, BUT NO MORE THAN 60% SITE COVERAGE.
SETBACK FRONT GROUND (MIN) AND UPPER (MIN)	4.5m
SETBACK FRONT GARAGE	6m AND 1.5m BEHIND FRONT OF DWELLING
SETBACK CLASS 1A / PRINCIPAL SIDE GROUND (MIN)	QDC
SETBACK CLASS 1A / PRINCIPAL SIDE UPPER (MIN)	QDC
SETBACK SECONDARY ROAD FRONTAGE (MIN)	3m
SETBACK CLASS 1A / PRINCIPAL REAR (MIN)	1.5m (SEWER LINES AND MANHOLES MAY ENFORCE GREATER SETBACKS)*
CLASS 10A / OUTBUILDING (SHED) WIDTH (MAX)	LESSER OF 50% OF REAR BOUNDARY OR 9m**
CLASS 10A / OUTBUILDING (SHED) DEPTH (MAX)	9m**
CLASS 10A / OUTBUILDING (SHED) REAR SETBACK	0-1.0m**
CLASS 10A / OUTBUILDING (SHED) SIDE SETBACK	ZERO IF LOT 12.5m WIDE. AS PER PRINCIPAL SETBACK IF LOT >12.5m WIDE**
FLOOR HEIGHT CLASS 1A / PRINCIPAL (MIN)	400mm
MAXIMUM STOREYS	AS PER THE APPLICABLE SCHEME
PRIVATE OPEN SPACE (MIN) (MAY BE COVERED)	4m x 4m
PARKING (MIN)	TWO (2), ONE OF WHICH MUST BE COVERED

\*NOTE: CLEARANCES TO SEWER LINES AND MANHOLES ARE REQUIRED IN ACCORDANCE WITH COUNCIL POLICY.  
 \*\*NOTE: SETBACKS APPLY TO CLASS 10A / OUTBUILDING (SHED) STRUCTURE WITH MAXIMUM HEIGHT OF 3.5m. WHERE THE STRUCTURE EXCEEDS THIS HEIGHT (OR OTHER MAXIMUM DIMENSIONS), SETBACKS ARE TO DEFAULT TO THE QDC.

LIGHT POLES & TELSTRA PITS HAVE NOT BEEN SHOWN

**FOR CONSTRUCTION**

DATE	REV	DESCRIPTION	REC	APP
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Z.STROGUSZ  
 PROJECT MANAGER  
Z.STROGUSZ  
 ENGINEERING CERTIFICATION  
 A.PEASE RPEQ 22556

SCALE  
 0 10 20 30m  
 SCALE 1:500 (A1)  
 ORIGINAL SHEET SIZE A1

CLIENT  
**ELEMENTS RASMUSSEN PTY LIMITED**

PROJECT  
**RIVERSTONE - PRECINCT 1 - STAGE 3**

LOCATION  
**SOUTH BECK DRIVE, RASMUSSEN**

SHEET TITLE  
**BUILDING ENVELOPE & DRIVEWAY ACCESS PLAN - SHEET 2 OF 2**

JOB CODE <b>P001814</b>	
SHEET NUMBER <b>C031</b>	REV <b>C</b>